

AM/PM CAR WASH ADDITION

2250 BALFOUR RD
BRENTWOOD, CALIFORNIA
94513

RECEIVED
January 8, 2024
CITY OF BRENTWOOD
COMMUNITY DEVELOPMENT DEPT



K12 Architects, Inc
3090 Fite Circle, #104
Sacramento, CA 95827
PH:(916) 455-6500 FAX:(916) 455-8100

CONSULTANTS:

CONTRACTOR:

PROJECT:

**AM/PM
CAR WASH
ADDITION**

2250 Balfour Rd
Brentwood, California 94513

DEVELOPER:

**Gurmeer Uppal
2250 Balfour Rd
Brentwood, CA 94513**

REVISIONS:

△ PLANNING COMMENTS 2023.08.25

PROFESSIONAL SEALS:



PROJECT NUMBER: **21-008** PROJECT DATE: **08-25-2023**

SHEET CONTENTS:

COVER SHEET

SHEET NUMBER:

A001

CONSULTANTS

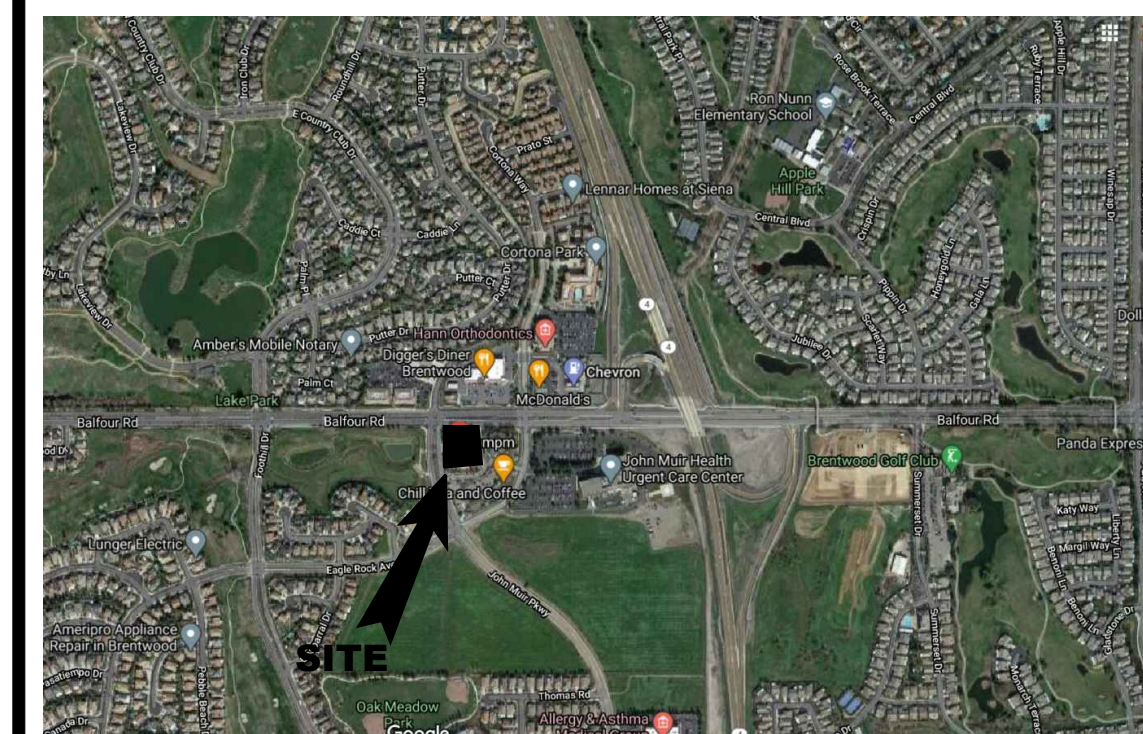
PROJECT DATA

VICINITY MAP

ASSESSOR'S PARCEL NUMBER(S): 010-010-037
 ZONING: PD -20
 PROJECT SITE AREA (GROSS): (±1.287 ACRES) ±56,062 SF

BUILDING DATA:

STRUCTURE	CBC OCCUP.	TYPE OF CONST.	AREA
RETAIL			
CONVENIENCE STORE	M	VB	EXISTING
FUELING CANOPY	M	VB	EXISTING
CAR WASH	B	VB	EXISTING 877 S.F.
			ADDITION 556 S.F.
			TOTAL 1,433 S.F.



PARKING REQUIRED			
REGULAR SPACES	1:200	TOATL AREA: 2077	= 13
ACCESSIBLE SPACES			= 1
VACUUM SPACES			= 2
FUELING PARKING			= 20
TOTAL =			36

PARKING PROVIDED			
REGULAR SPACES			= 13
ACCESSIBLE SPACES			= 1
FUELING PARKING			= 20
VACUUM PARKING			= 5
TOTAL =			39

HOURS OF OPERATION:
 CONVENIENCE STORE: 24/7
 HOURS OF OPERATION: 5AM TO 8PM (CURRENTLY 24/7)
 HOURS OF OPERATION: 5AM TO 8PM (CURRENTLY 24/7)

DRAWING INDEX

GENERAL

A001 COVER SHEET

ARCHITECTURAL

A101 SITE PLAN
 A102 CONTEXTUAL SITE PLAN
 A103 TRASH ENCLOSURE DETAILS
 A201 PROPOSED FLOOR PLAN
 A301 EXTERIOR ELEVATIONS
 A302 CAR WASH VACUUM ELEVATIONS
 A303 CAR WASH VACUUM ELEVATIONS

LANDSCAPE

LP1 PRELIMINARY PLANTING PLAN

BUILDING CODED ANALYSIS

DESIGN CODE: 2022 CBC, CFC, CMC, CPC, CEC, CGBSC, CA ENERGY CODE
 OCCUPANCY AND BUILDING USE: GROUP 'B' (OFFICE)
 TYPE OF CONSTRUCTION: V B
 NUMBER OF STORIES: 2 ALLOWED / 1 SHOWN
 BUILDING HEIGHT: 20'-0"
 BUILDING HEIGHT ALLOWED (PER 17.470.005): 30 FT
 BUILDING AREA: EXISTING CAR WASH 877 SF ADDITION 556 SF= 1,433 SF
 BUILDING AREA ALLOWED (PER CBC SEC. 506.2 NONSPRINKLERED) TYPE V B: 9,000 SF
 FIRE RATING: 0HR (PER TABLE 602) FSD= >30 FT
 FIRE SPRINKLERS: NO
 FIRE ALARM: YES
 HIGH FIRE HAZARD SEVERITY ZONE: NO
 SEISMIC JOINTS: NO
 EMERG. RESPONDER RADIO COVERAGE: YES

SCOPE OF WORK

THIS IS AN EXISTING CONVENIENCE STORE AND GAS STATION WITH AN EXISTING CAR WASH.

SCOPE OF WORK IS LIMITED TO AN ADDITION TO THE CAR WASH ALONG WITH A NEW TRASH ENCLOSURE. THERE WILL BE DEMOLITION OF THE EXISTING GAZEBO FOR THE NEW VACUUM STATIONS. THE EXISTING TRASH ENCLOSURE WILL BE REMOVED AND BECOME A PARKING SPACE. EXISTING VACUUMS WILL BE REMOVED AND BECOME PARKING SPACES.

THERE WILL ALSO BE A PREFABRICATED DOG WASH IN THE VACUUM AREA.



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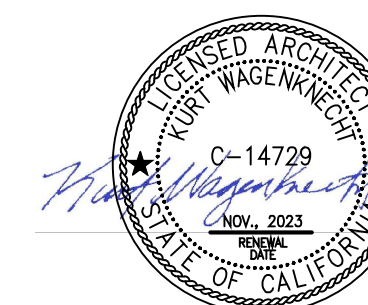
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SHEET CONTENTS:

SITE PLAN

SHEET NUMBER:

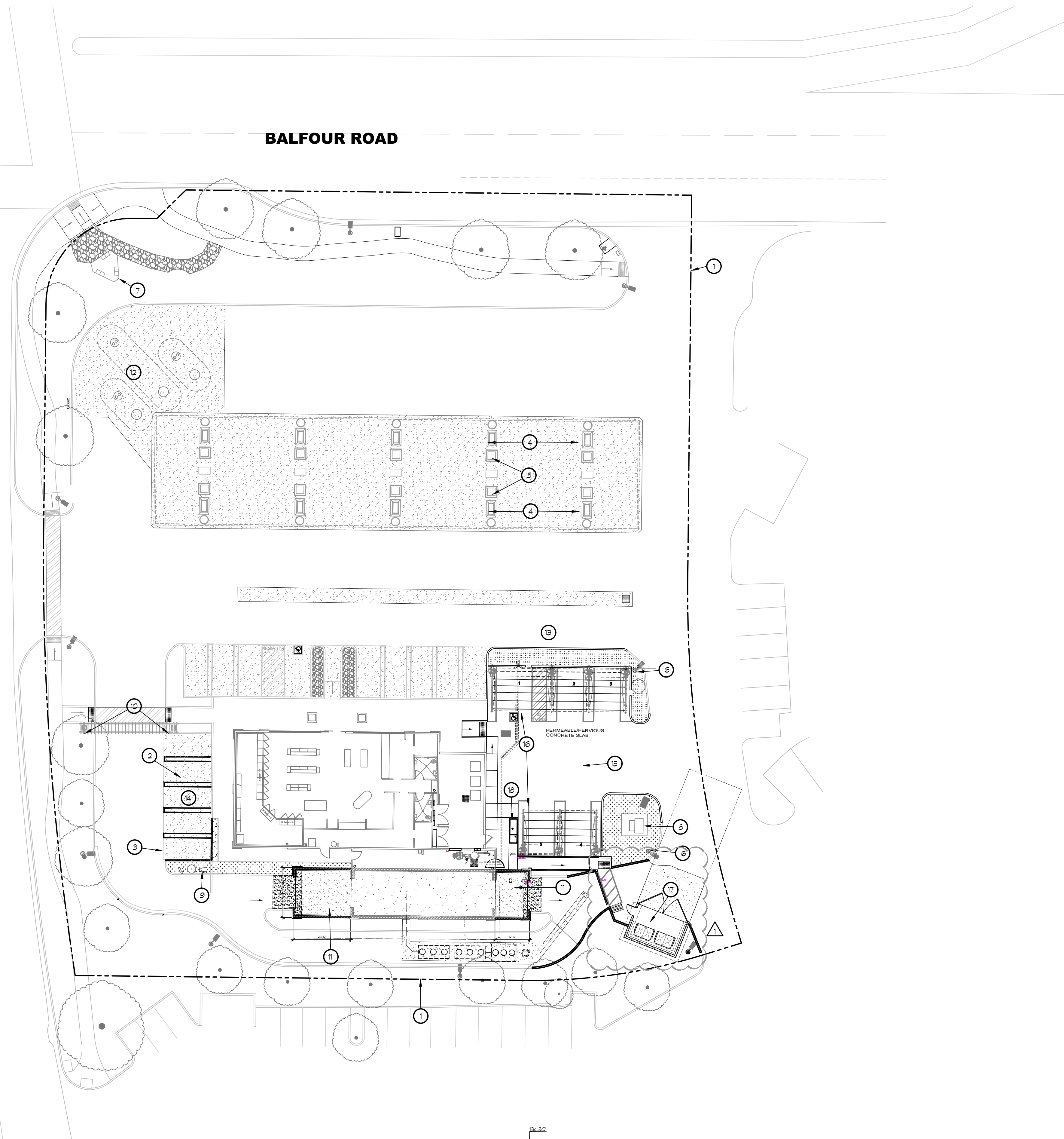
A101

SITE PLAN KEYNOTES

- ① PROPERTY LINE APPROX.
- ② REMOVE EXISTING VACUUMS
- ③ REMOVE EXISTING TRASH ENCLOSURE
- ④ EXISTING FUEL MPDS
- ⑤ EXISTING CANOPY COLUMNS
- ⑥ EXISTING AREA LIGHT TO REMAIN
- ⑦ EXISTING PRICE SIGN TO REMAIN
- ⑧ EXISTING ELECT TRANSFORMER TO REMAIN
- ⑨ NEW CAR WASH PAY TERMINAL
- ⑩ EXISTING TRELLIS TO REMAIN
- ⑪ NEW ADDITION TO CAR WASH TUNNEL
- ⑫ EXISTING UNDERGROUND FUEL STORAGE TANK TO REMAIN
- ⑬ REMOVE 5 PARKING SPACES
- ⑭ FIVE NEW PARKING SPACES
- ⑮ REMOVE EXISTING GAZEBO
- ⑯ NEW SELF SERVE VACUUMS
- ⑰ NEW TRASH ENCLOSURE- SEE SHEET A102
- ⑱ NEW DOG WASH- SEE SHEET A102

JOHN MUIR PARKWAY

BALFOUR ROAD



SCALE: 1"=10'-0"

SITE PLAN



©2021 Google



SCALE: 1"=10'-0"



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SHEET CONTENTS:

**CONTEXTUAL
SITE PLAN**

SHEET NUMBER:
A100

CONTEXTUAL SITE PLAN

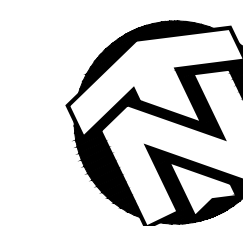


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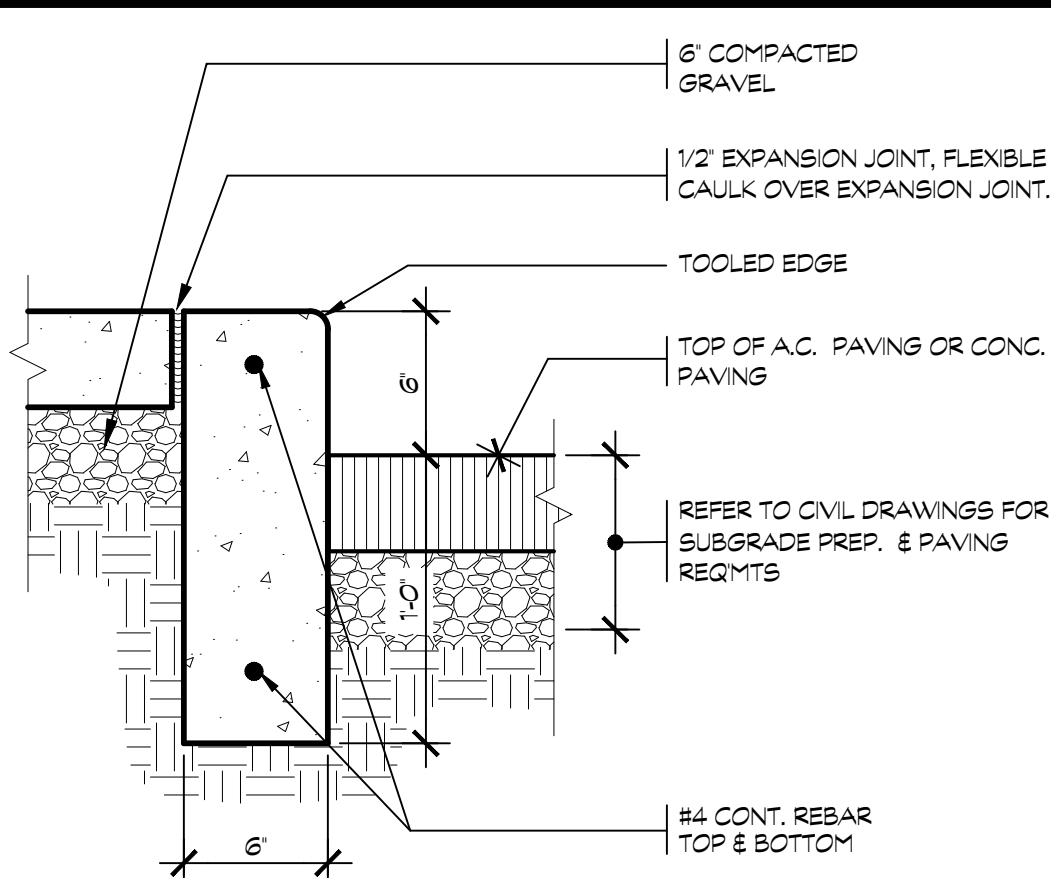
SHEET CONTENTS:
**TRASH ENCLOSURE PLAN,
ELEVATIONS, WALL
SECTION AND DETAILS**

SHEET NUMBER:

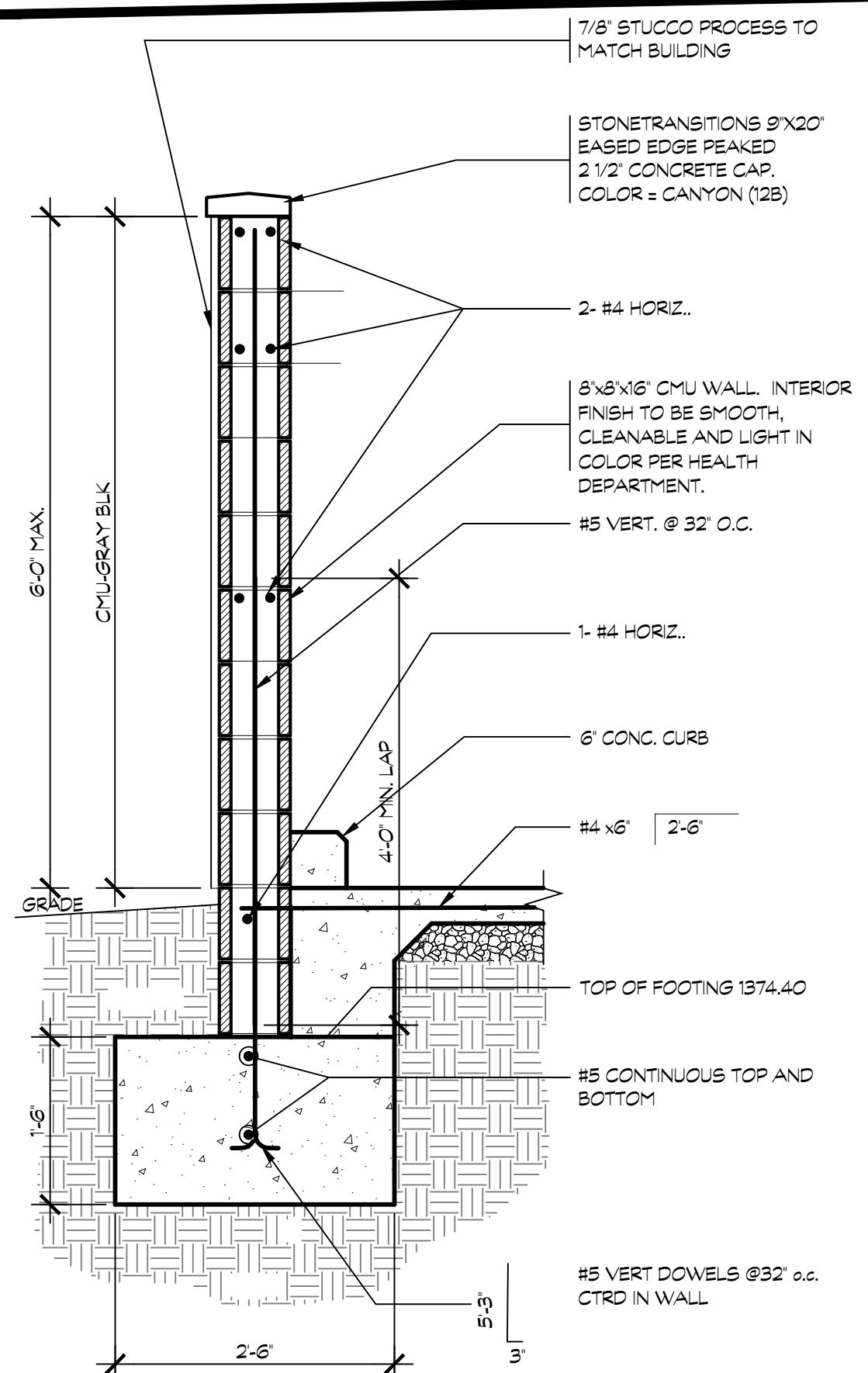
A102



18 DOG WASH

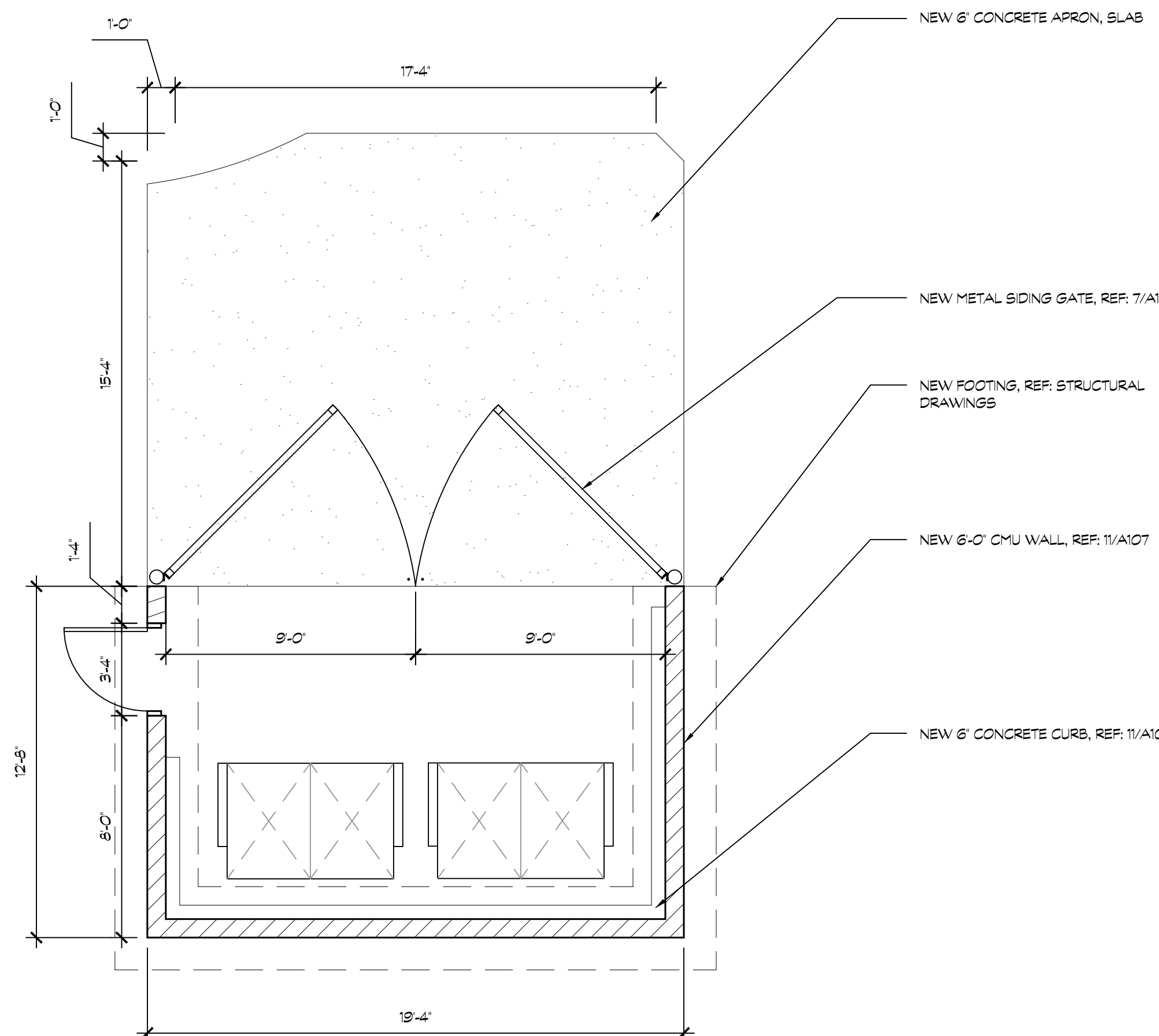


9 CONC. WALK CURB
SCALE: 1 1/2"=1'-0"

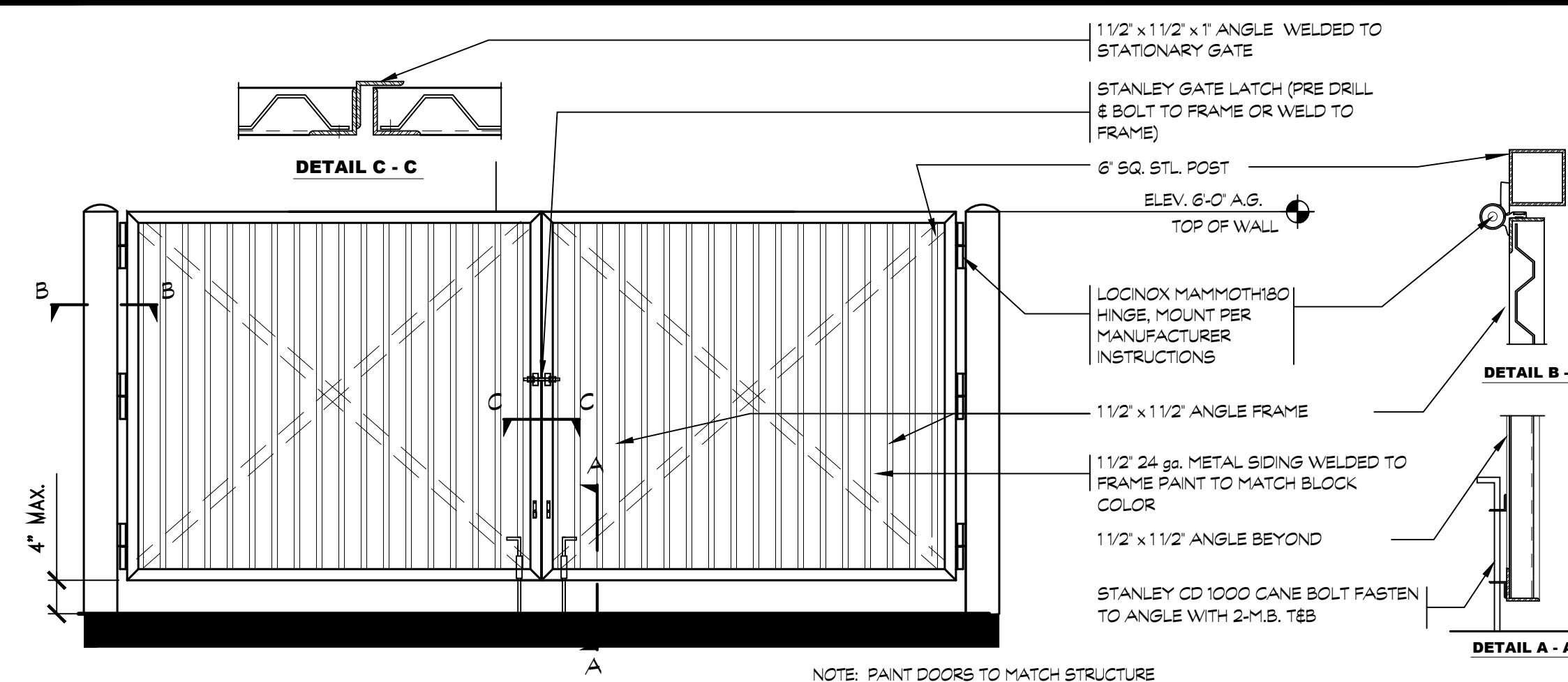


11 TRASH ENCLOSURE WALL SEC.
SCALE: 3/4" = 1'-0"

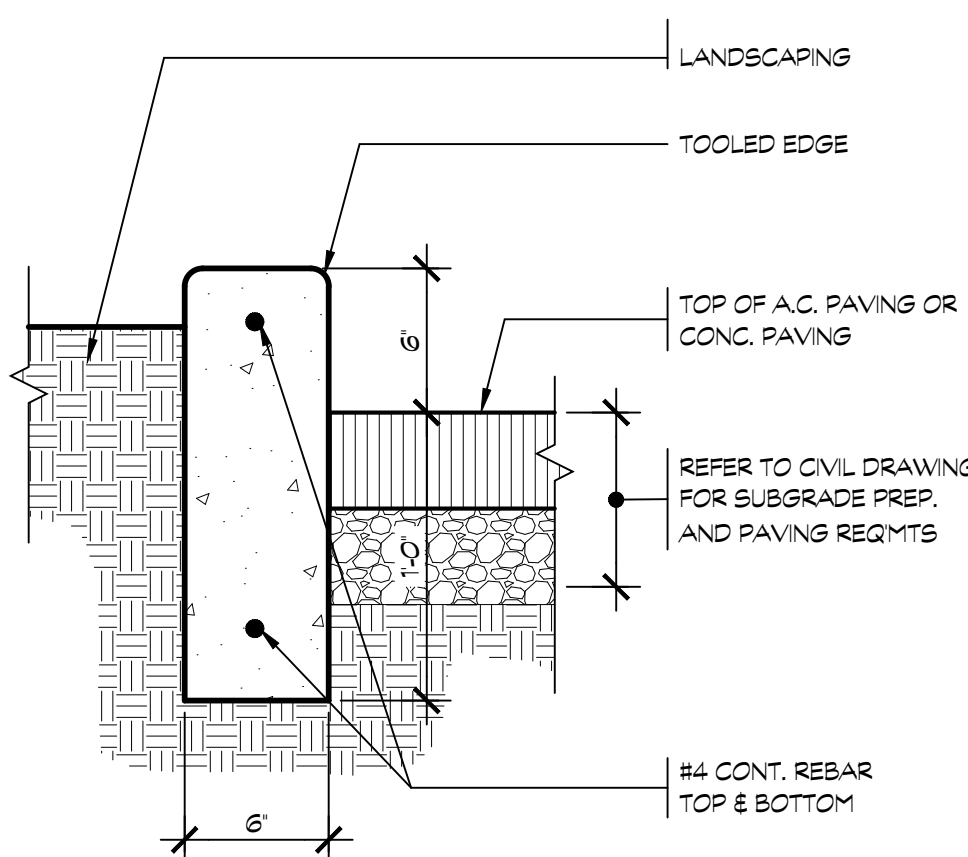
MATERIAL SPECIFICATIONS:
MASONRY UNITS: ASTM C90 (1,800 PSI)
MORTAR: ASTM C270 TYPE S (1,800 PSI)
GROUT: ASTM C476 (2,000 PSI)
CONCRETE: 2500 PSI
REINFORCING STEEL: SEE SHEET S1.0



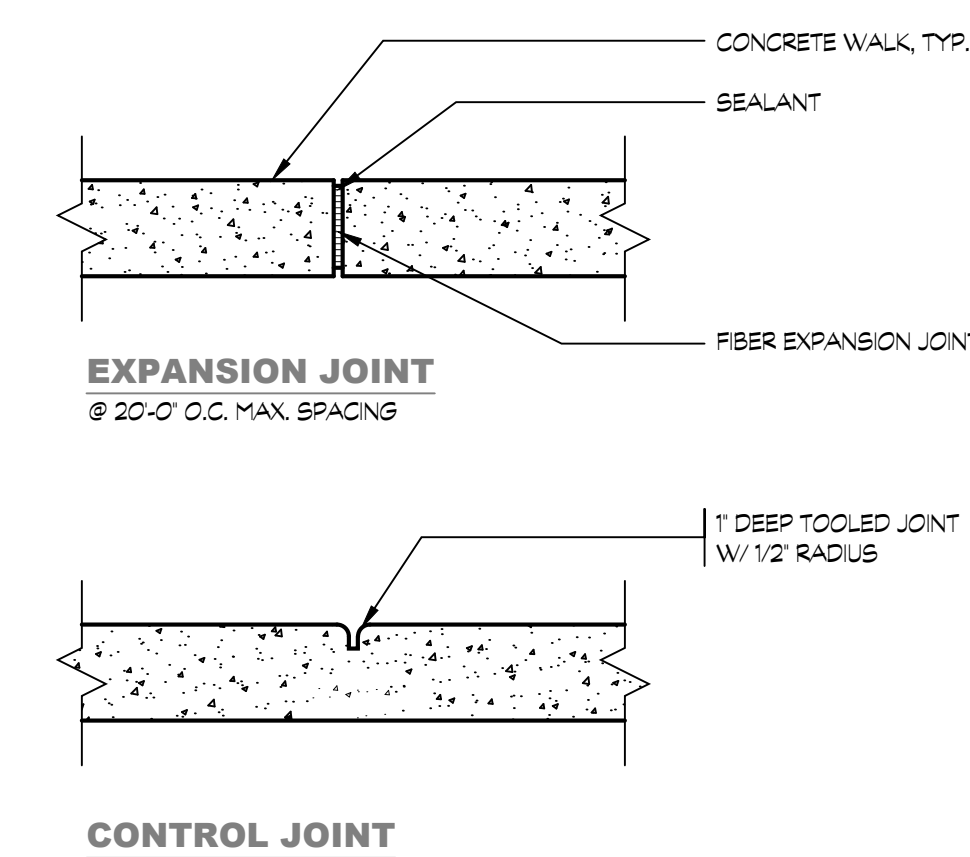
6 ENLARGED TRASH ENCLOSURE PLAN
SCALE: 1/4"=1'-0"



7 TRASH ENCLOSURE GATE
SCALE: 1/2" = 1'-0"



8 CONC. CURB @ LANDSCAPING
SCALE: 1 1/2"=1'-0"



4 CONC. WALK EXPANSION & CONTROL JOINTS
SCALE: 1 1/2"=1'-0"



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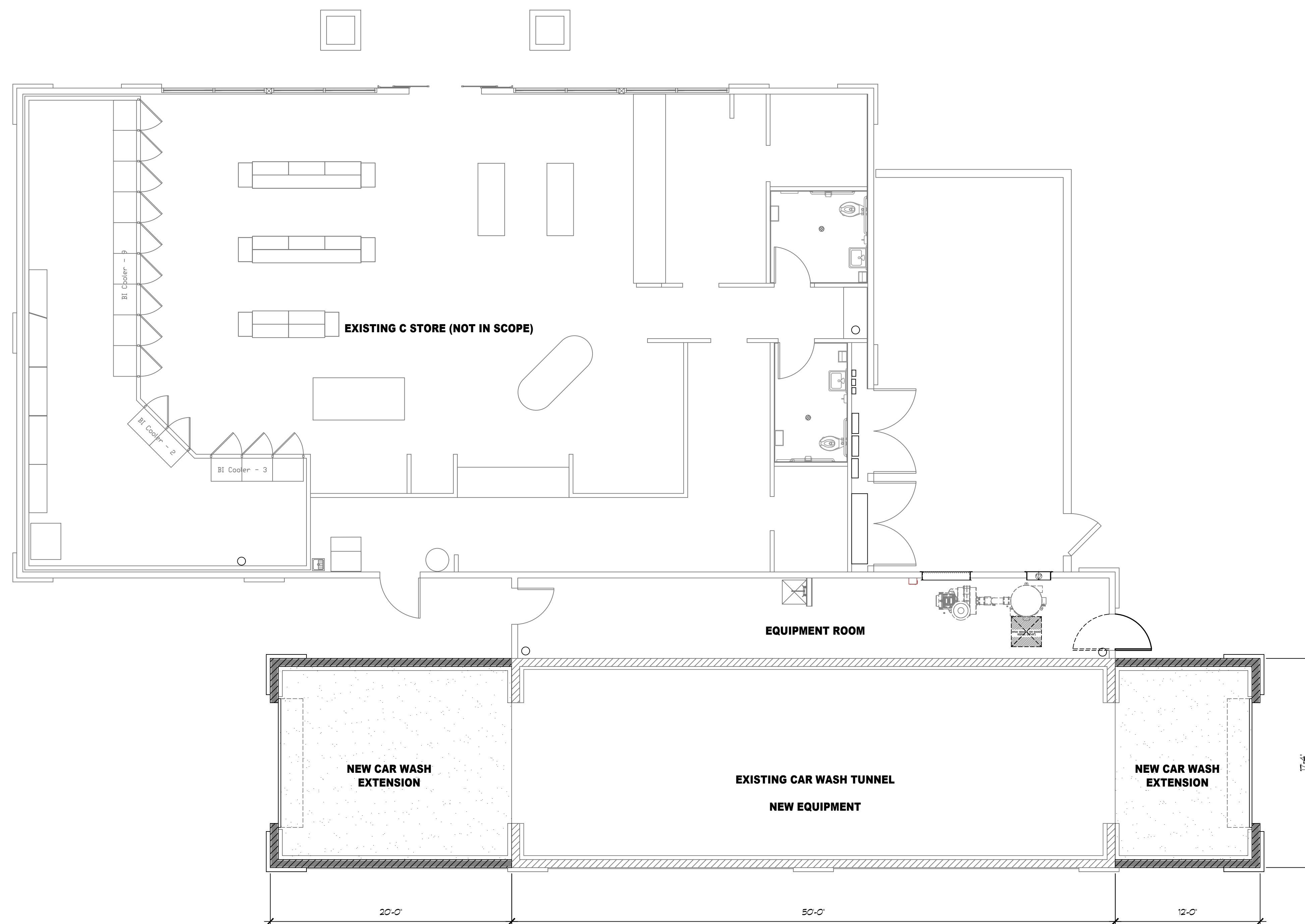
PROJECT NUMBER: **21-008** PROJECT DATE: **08-25-2023**

SHEET CONTENTS:

FLOOR PLAN

SHEET NUMBER:

A201





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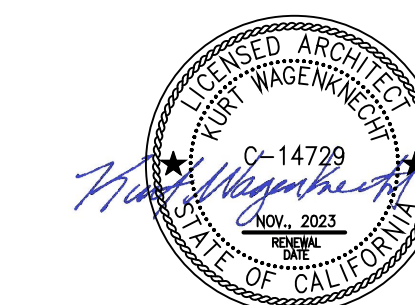
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REVISIONS:

PROFESSIONAL SEALS:



PROJECT NUMBER: **21-008** PROJECT DATE: **06-19-2023**

SHEET CONTENTS:

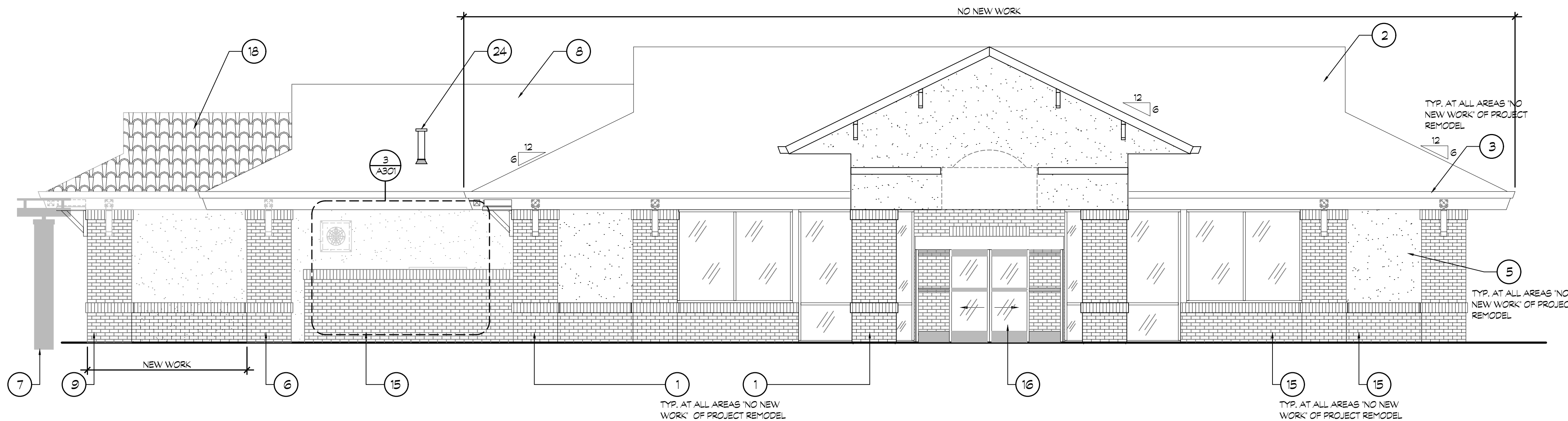
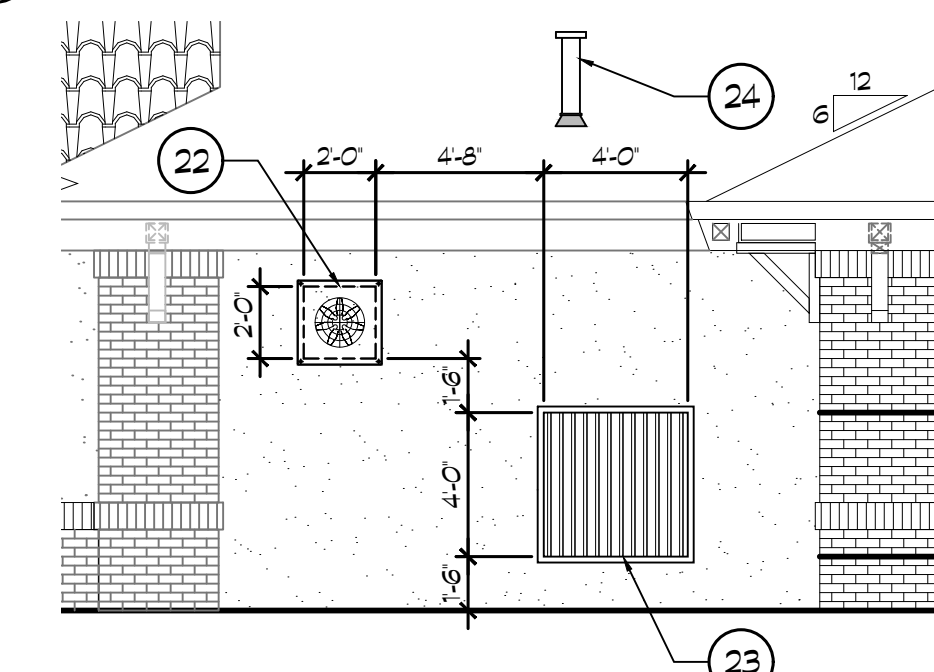
**EXTERIOR
 ELEVATIONS**

SHEET NUMBER:

A301

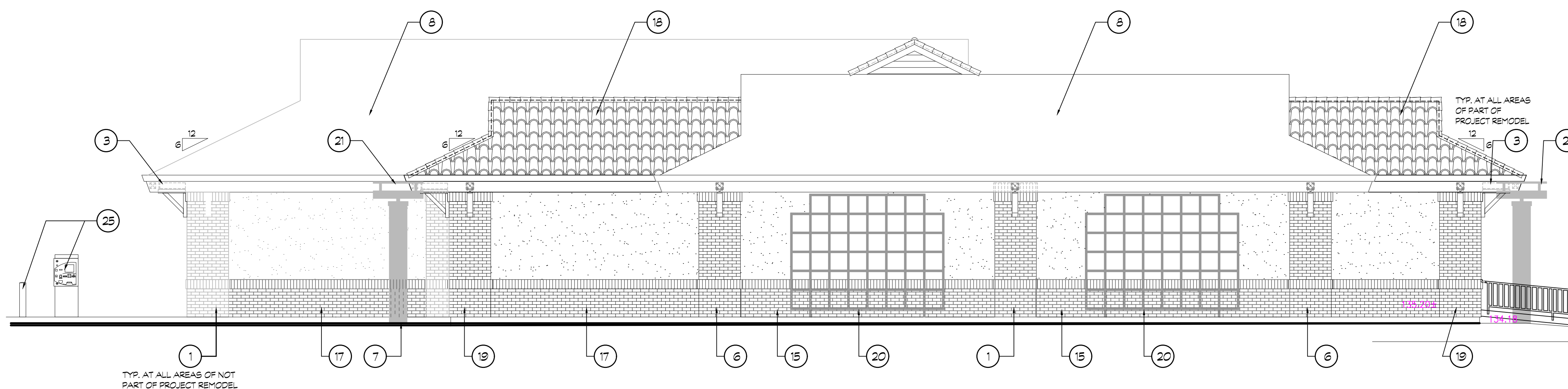
KEYNOTES

- 1 EXISTING THIN BRICK COLUMN TO REMAIN
- 2 EXISTING ROOF TILE TO REMAIN
- 3 EXISTING GUTTER/FASCIA & CORBELS TO REMAIN
- 4 EXISTING MAIN DOORS TO REMAIN
- 5 EXISTING CEMENT PLASTER FINISH TO REMAIN
- 6 EXISTING THIN BRICK COLUMN TO BE MODIFIED, REF. A201
- 7 EXISTING ENTRANCE & EXIT TRELLIS MAY NEED TO BE REMOVED OR RELOCATED, FIELD VERIFY
- 8 EXISTING ROOF & ROOFING TILE TO BE MODIFIED PER ROOF CHANGES, REF. A204
- 9 NEW THIN BRICK COLUMN TO MATCH EXISTING CORNER COLUMNS
- 10 NEW CEMENT PLASTER FINISH, TO MATCH EXISTING ADJACENT.
- 11 NEW BRICK COLUMN TO MATCH EXISTING ADJACENT
- 12 NEW WD CORBEL TO MATCH EXISTING ADJACENT
- 13 NEW GUTTER/FASCIA TO MATCH EXISTING ADJACENT
- 14 NEW TILE ROOF TO MATCH EXISTING ADJACENT
- 15 EXISTING THIN BRICK WAISCOAT TO REMAIN
- 16 EXISTING SLIDING ENTRANCE DOOR STO TO REMAIN
- 17 EXISTING EQUIPMENT SCREED WALL TO REMAIN
- 18 NEW ROOF TILE TO MATCH EXISTING
- 19 NEW THIN BRICK WRAPPED COLUMN TO MATCH EXISTING, REF. A201
- 20 EXISTING LANDSCAPE TRELLIS TO REMAIN, REF. LANDSCAPE DRAWINGS
- 21 CONTRACTOR TO VERIFY TRELLIS AT ENTRANCE AND EXIT CLEARING NEW ROOF OVERHANGS, VERIFY WITH OWNER IF TRELLIS TO BE RELOCATED OR REMOVED
- 22 24"x24" EXHAUST FAN, DIMENSION ARE TO CLEAR OPENING
- 23 48"x48" EXHAUST VENT, DIMENSION ARE TO CLEAR OPENING
- 24 ALUMINUM EXHAUST TUBING, REFENCE VACUUMS BY VACUTECH DRAWINGS
- 25 NEW XPT BY OTHERS, ADD BALLARD



1 NORTH ELEVATION

SCALE: 3/16" = 1'-0"

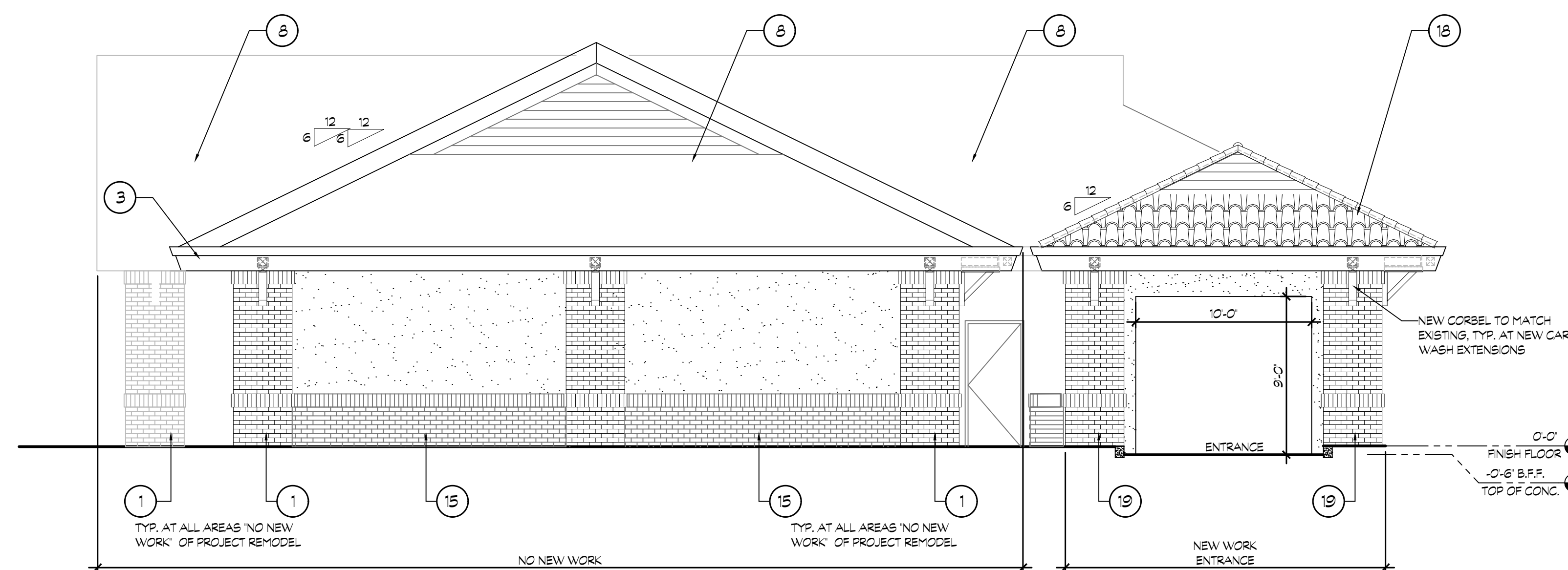


2 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

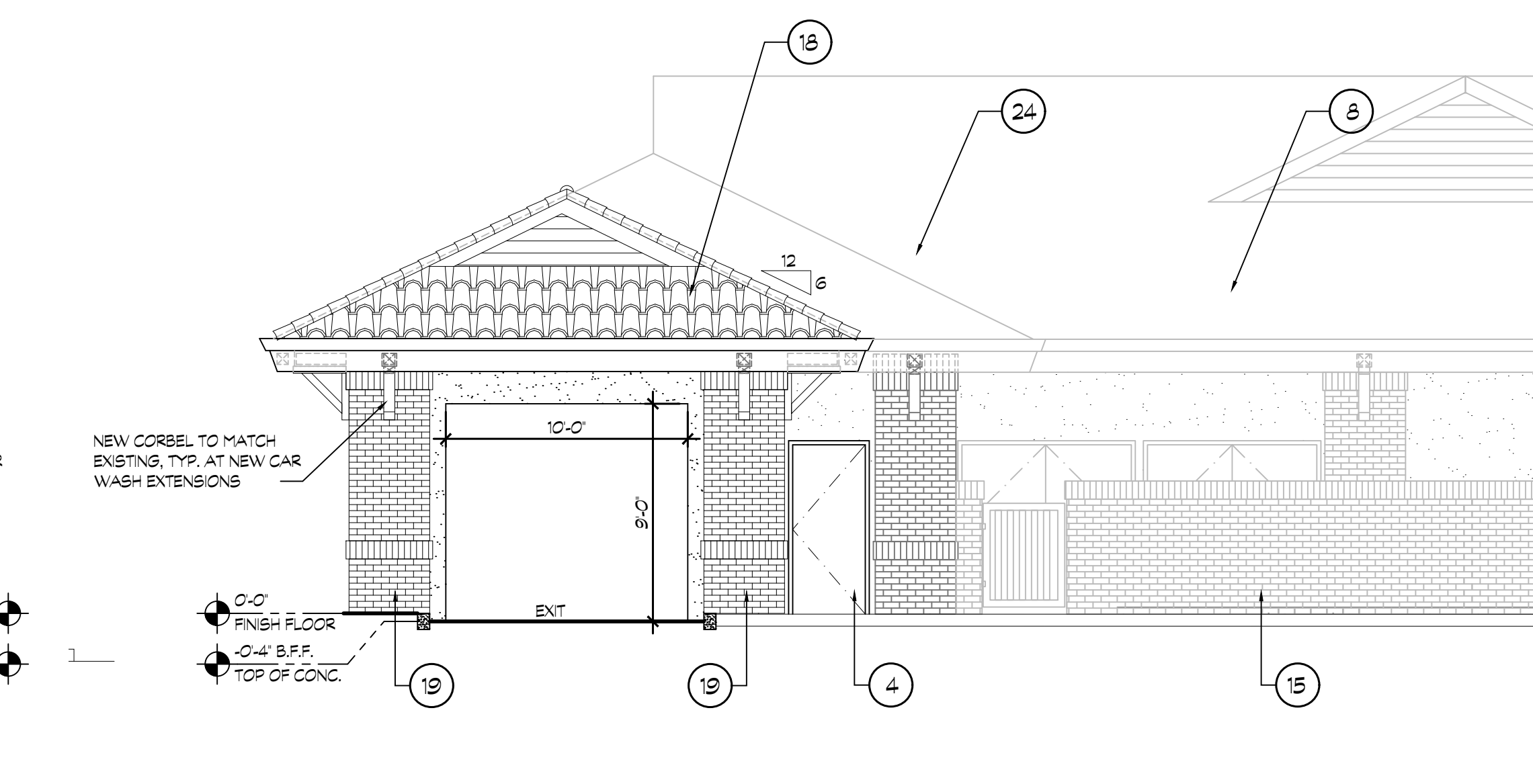
3 PARTIAL NORTH ELEVATION

SCALE: 3/16" = 1'-0"



4 WEST ELEVATION

SCALE: 3/16" = 1'-0"



5 EAST ELEVATION

SCALE: 3/16" = 1'-0"



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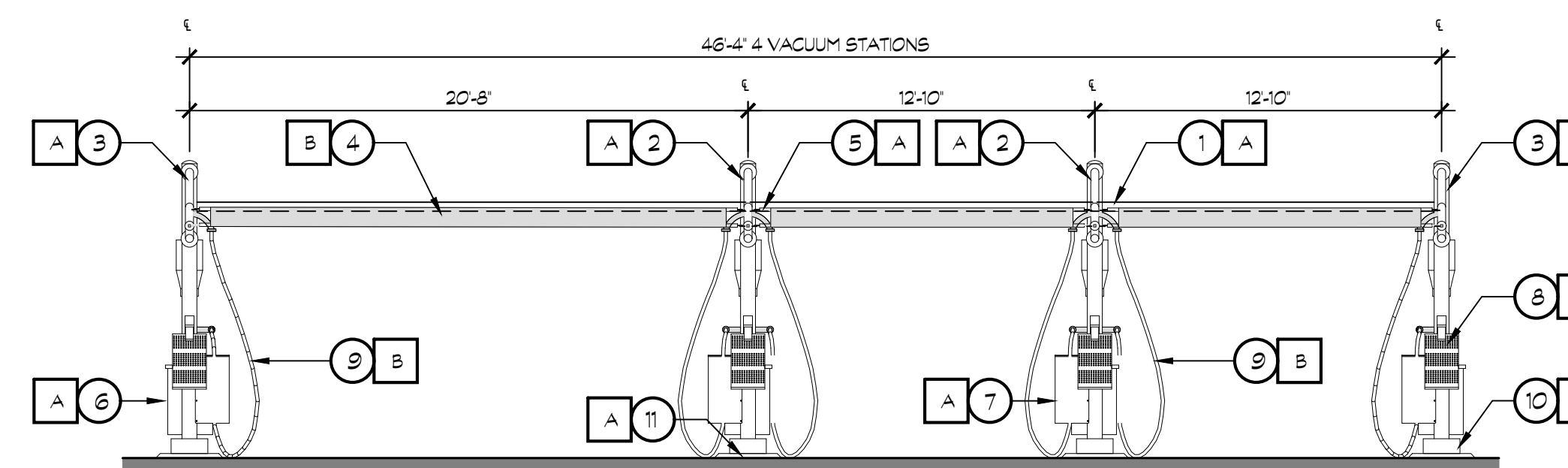
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SHEET CONTENTS:

**VACUUM CANOPY
 ELEVATIONS**

SHEET NUMBER:

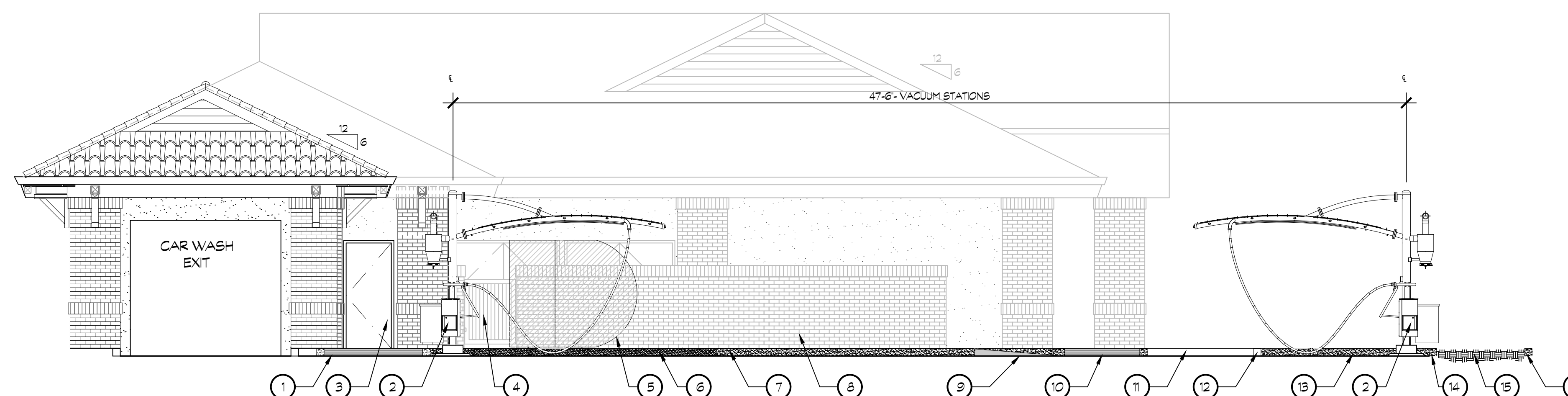
A302



- ① OVER-HEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
- ② DUAL USER PALM ARCH BETWEEN VACUUM SPACES
- ③ SINGLE USER PALM ARCH BETWEEN VACUUM SPACES
- ④ PERFORATED ALUMINUM AWNING
- ⑤ SQUARE TUBING CROSSBAR BETWEEN PALM ARCH
- ⑥ WASTE RECEPTACLE ATTACHED TO PALM ARCHES
- ⑦ TOWEL BIN
- ⑧ MAT RACK W/ DOOR PROTECTION
- ⑨ VACUUM HOSE
- ⑩ FOOTING
- ⑪ PEDISTAL
- ⑫ NEW WALKWAY

1 VACUUM STATION NORTH ELEVATION

SCALE: 1/4"= 1'-0"



2 VACUUM STATION WEST ELEVATION

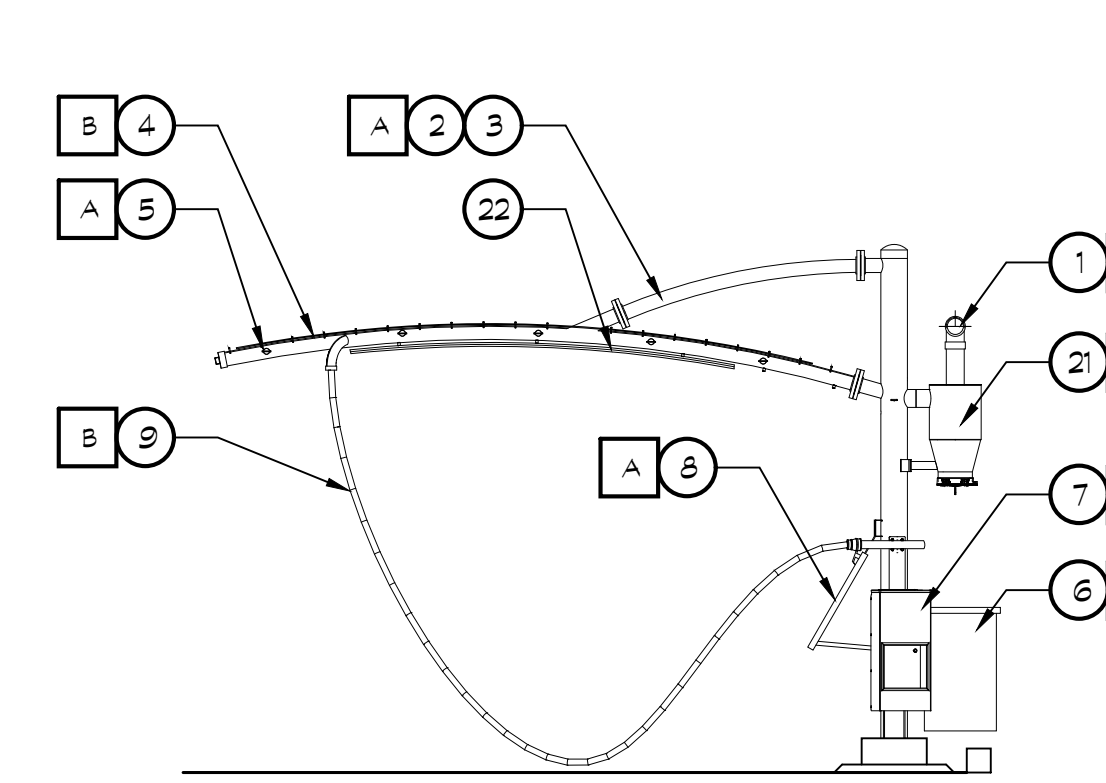
SCALE: 1/4"= 1'-0"

KEY NOTES

- ① CURB RAMP BEYOND
- ② SEE DETAIL 1 & 3 FOR INFORMATION ON THE PALM ARCH VACUUMS
- ③ EQUIPMENT ROOM DOOR
- ④ GATE TO EXTERIOR EQUIPMENT AND ELECTRICAL ROOM DOORS
- ⑤ DOG WASH, BY I CLEAN DOG WASH
- ⑥ NEW CONCRETE PAD FOR DOG WASH
- ⑦ NEW CONCRETE WALKWAY
- ⑧ EXISTING WALL TO EXTERIOR EQUIPMENT AND ELECTRICAL ROOM DOORS
- ⑨ NEW CURB RAMP TO THE VACUUM AREA
- ⑩ NEW CURB RAMP TO THE C-STORE ENTRANCE
- ⑪ EXISTING CONCRETE WALKWAY
- ⑫ EXISTING CURB AT EXISTING PARKING STALLS
- ⑬ NEW CURB AT EXISTING PARKING STALLS
- ⑭ NEW CURB
- ⑮ NEW LANDSCAPE AREA

COLOR LEGEND

- A DUNN EDWARDS PAINT - DE6354 - 'GRAY WOLF
- B VACUTECH HOSE COLOR: BLUE



- ① OVER-HEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
- ② DUAL USER PALM ARCH BETWEEN VACUUM SPACES
- ③ SINGLE USER PALM ARCH BETWEEN VACUUM SPACES
- ④ PERFORATED ALUMINUM AWNING
- ⑤ SQUARE TUBING CROSSBAR BETWEEN PALM ARCH
- ⑥ WASTE RECEPTACLE ATTACHED TO PALM ARCHES
- ⑦ TOWEL BIN
- ⑧ MAT RACK W/ DOOR PROTECTION
- ⑨ VACUUM HOSE
- ⑩ FOOTING
- ⑪ PEDISTAL
- ⑫ NEW WALKWAY

NOTE:
 REFER TO VACUTECH DRAWINGS
 FOR ALL ADDITIONAL NOTES AND
 DIMENSION

3 VACUUM STATION WEST ELEVATION

EAST ELEVATION SIMILAR

SCALE: 1/4"= 1'-0"



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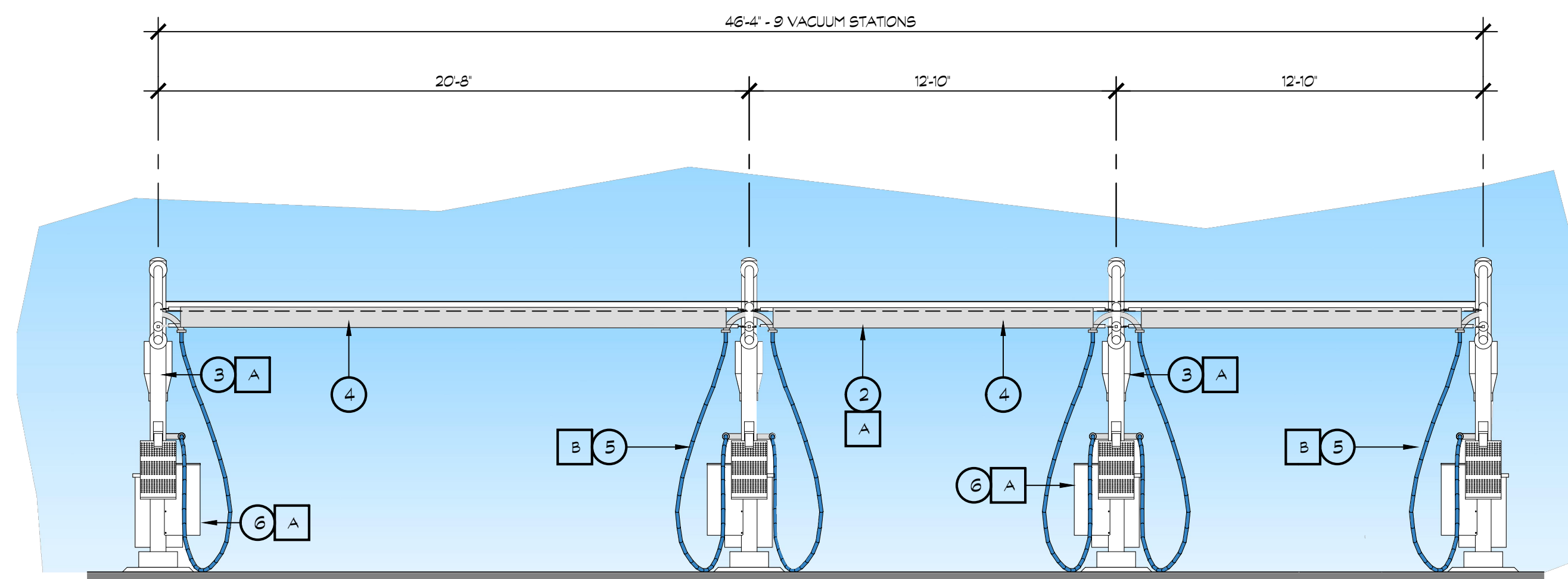
PROFESSIONAL SEALS:



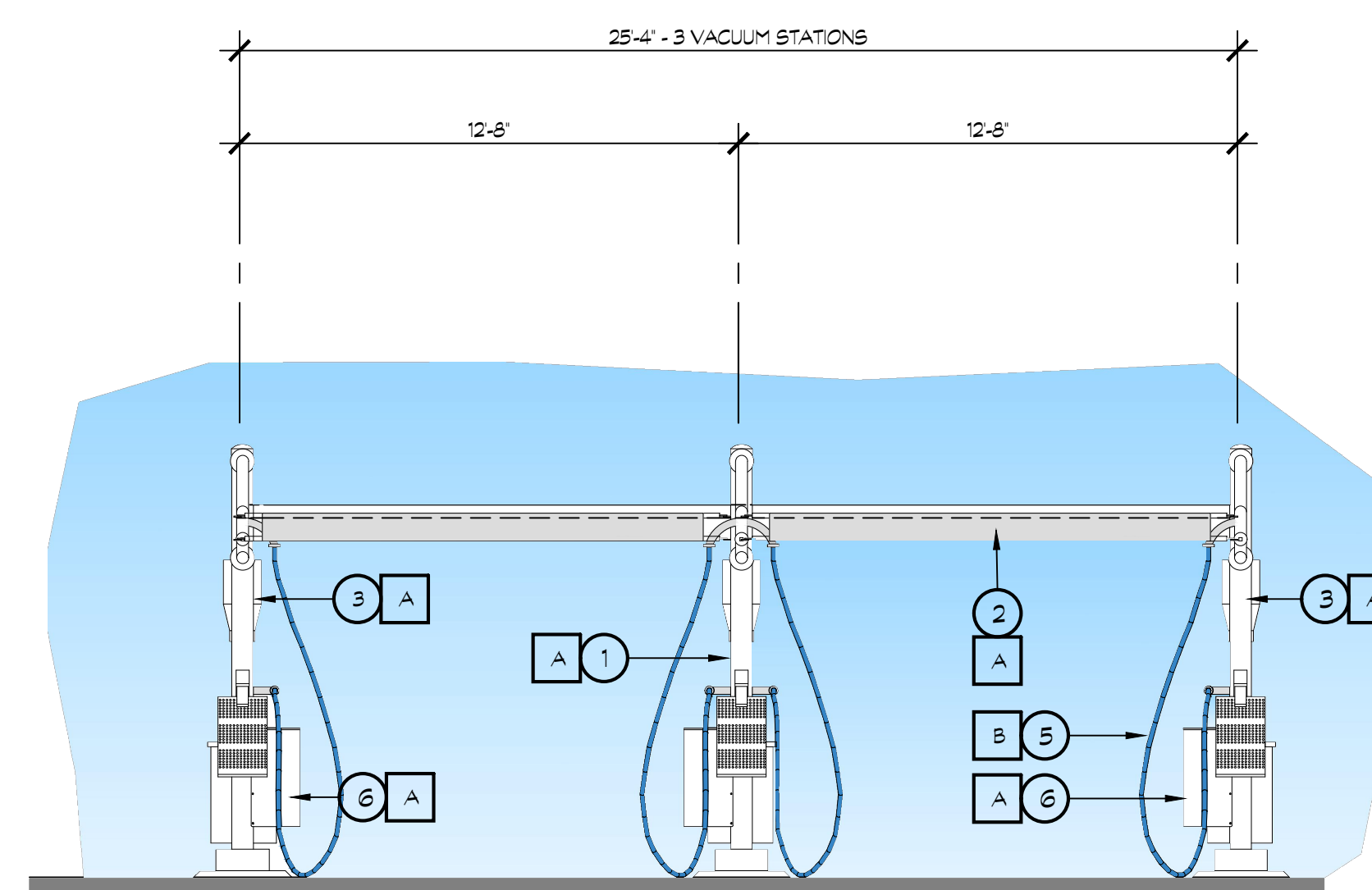
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SHEET CONTENTS:
**VACUUM CANOPY 02
ELEVATIONS**

SHEET NUMBER:
A303



18 VACUUM STATION NORTH ELEVATION



19 VACUUM STATION SOUTH ELEVATION

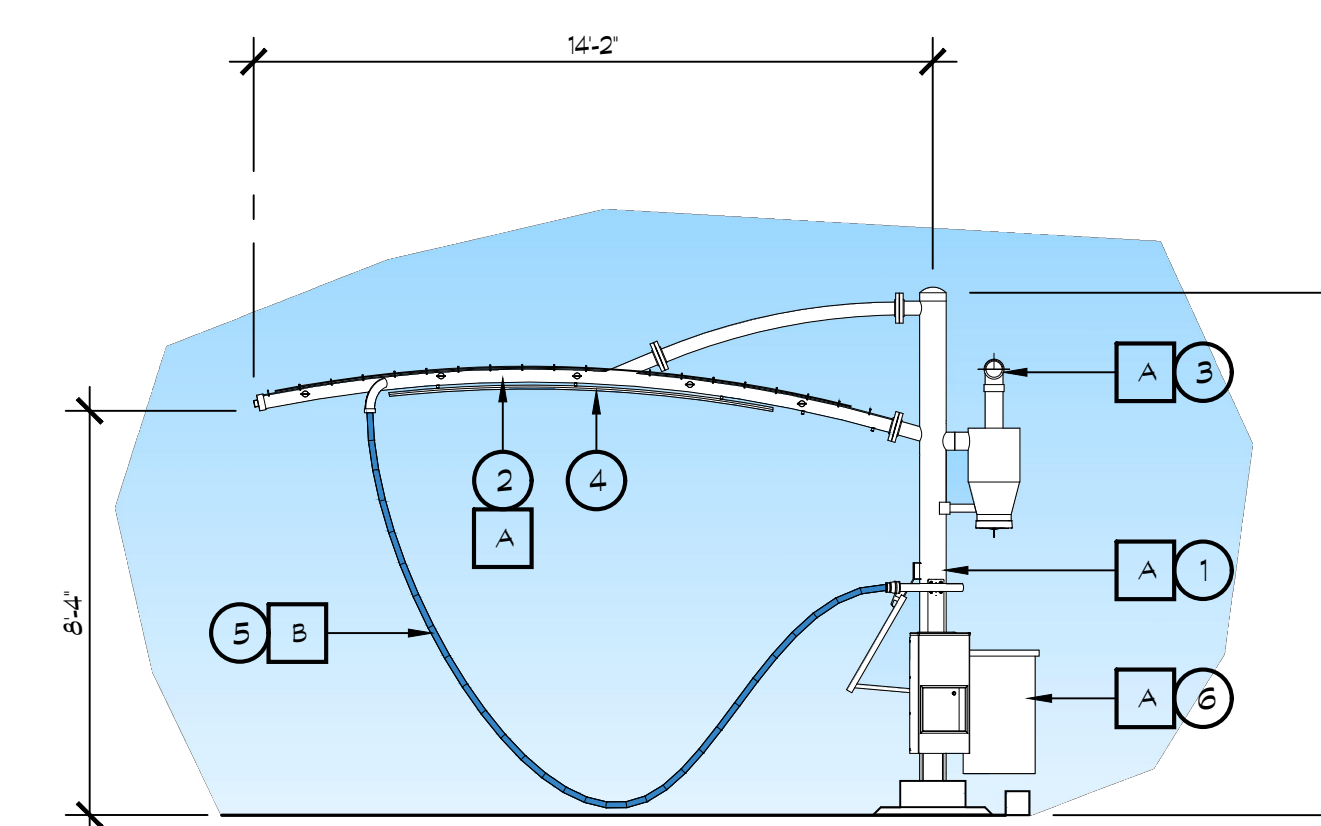


KEY NOTES

- ① STEEL COLUMN
- ② STEEL BEAM
- ③ VACUUM PIPES ETC
- ④ LED LIGHT FIXTURE, LOW PROFILE W/ SENSOR- SEE DETAIL 20/A107 FOR STYLE & DETAIL THIS SHEET FOR MOUNTING INFORMATION
- ⑤ VACUUM HOSE
- ⑥ FIXED METAL TRASH CAN

COLOR LEGEND

- A DUNN EDWARDS PAINT - DE6354 - 'GRAY WOLF'
- B VACUTECH HOSE COLOR: BLUE



4 VACUUM STATION WEST ELEVATION

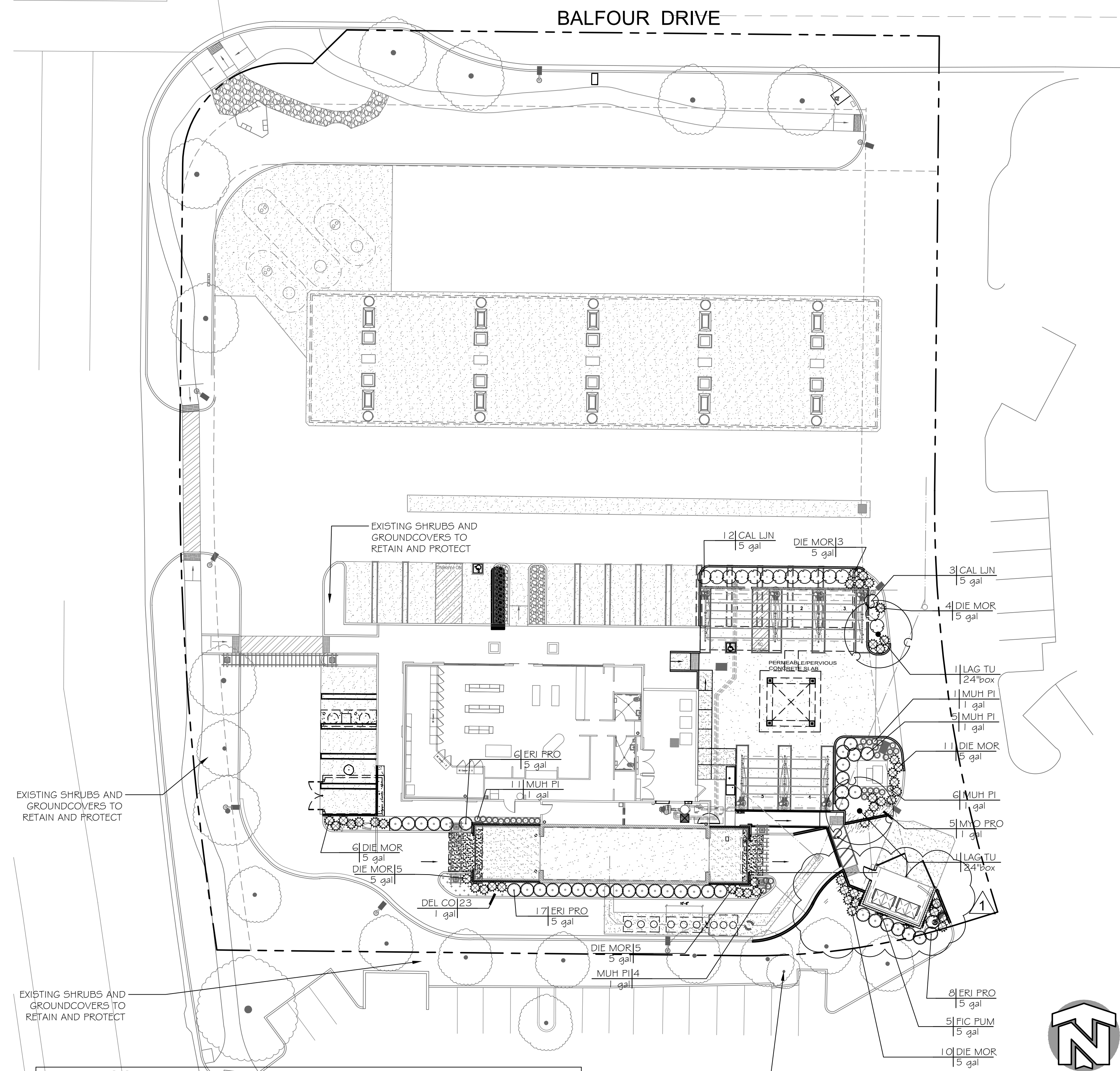
EAST ELEVATION SIMILAR



PLANT NOTES

- INTENT: THE INTENT OF THE DRAWINGS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
- SITE CONDITIONS: CONTRACTOR SHALL VERIFY ALL CONDITIONS ON SITE PRIOR TO COMMENCING WORK. ANY INACCURACIES, DEVIATIONS, OR OMISSIONS WHICH AFFECT THE SCOPE OF WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
- COORDINATION: THE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION INSTALLATION AS NECESSARY.
- SUBSTITUTIONS: ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- DETAILS AND SPECIFICATIONS: REFER TO PLANTING DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. SPECIFICATIONS ARE IN SHEET FORMAT AND ARE INCLUDED AS PART OF THESE CONSTRUCTION DOCUMENTS AND REQUIREMENTS.
- PRE-EMERGENCE WEED CONTROL: APPLY A PRE-EMERGENCE HERBICIDE AS APPROVED FOR USE IN THE STATE OF CALIFORNIA TO ALL PLANTING AREAS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED RATES. ANY PLANTING MATERIALS SHOWING LOSS OF VIGOR OR HEALTH OWING TO IMPROPER APPLICATION OF THE HERBICIDE SHALL BE REPLACED AT NO COST TO THE OWNER.
- ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN A HEALTHY AND WEED FREE CONDITION; DEAD PLANT MATERIAL SHALL BE REPLACED IMMEDIATELY. ALL TREES SHALL BE MAINTAINED AND PRUNED IN ACCORDANCE WITH THE ACCEPTED PRACTICES OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA).
- CONDITIONS PERMITTING THE RETENTION OF WATER IN PLANTING PITS FOR MORE THAN ONE HOUR SHALL BE CORRECTED, WITH A SIX INCH AUGURED HOLE SIX DEEP OR THROUGH THE HARD PAN.
- ALL PLANTERS TO DRAIN 2% MINIMUM AWAY FROM BUILDINGS AND TOWARDS EXISTING DRAINAGE DIRECTIONS INTENDED BY THE CIVIL ENGINEER.
- CONTRACTOR SHALL BUTTERFLY ROOTBALLS OF ALL TREES AND SHRUBS DURING PLANTING TO ELIMINATE ANY ROOTBOUND CONDITIONS.
- CONTRACTOR SHALL SET ROOTBALLS OF ALL TREES AND SHRUBS TWO (2) INCHES ABOVE FINAL FINISH GRADE.
- UTILITIES: CONTRACTOR TO VERIFY THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, STRUCTURES, MAIN LINES, AND SLEEVES PRIOR TO EXCAVATING FOR IRRIGATION OR PLANTING. CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES CAUSED BY HIS WORK AT NO COST TO THE OWNER. CONTACT U.S.A. AT 800/642.2444, 48 HOURS PRIOR TO EXCAVATING.
- SOIL PREPARATION:
 - AMEND ALL TREE, SHRUB, AND GROUNDCOVER PLANTING AREAS PER SOIL ANALYSIS ON WITH: REFER TO SOIL ANALYSIS ON SHEET LP-2.
 - REFER TO SOIL ANALYSIS ON THIS SHEET FOR SOIL AMENDMENT ADDITIONS.
 - COMMERCIAL FERTILIZER (6-20-20) AT AN APPLICATION RATE OF TWENTY POUNDS PER ONE THOUSAND SQUARE FEET (1 C.Y./1,000 S.F.)
 - BACKFILL ALL PLANTING HOLES AS SHOWN ON THE PLANTING DETAILS WITH A UNIFORM MIXTURE CONSISTING OF: 75% NATIVE SOIL AND 25% SOIL AMENDMENT. ADD COMMERCIAL FERTILIZER AS REQUIRED PER NOTE 1 G.
 - DURING MAINTENANCE: APPLY 5 POUNDS OF AMMONIUM PHOSPHATE (21-0-0) PER 1,000 SF ONCE A MONTH UNTIL PLANTS ARE ESTABLISHED.
- SOIL AMENDMENT: REDWOOD SHAVINGS OR SHREDDED FIR BARK PARTICLES. MINOR PROPORTION OF QUARTER-INCH PARTICLES SHALL BE ACCEPTABLE. MATERIAL SHALL BE NITROGEN STABILIZED. SALINITY LEVEL SHALL NOT EXCEED 2.0.
- COMMERCIAL FERTILIZER SPECIFICATION: COMPLETE, OF WHICH PART OF ELEMENTS ARE DERIVED FROM ORGANIC SOURCES, CONTAINING AVAILABLE FORM BY WEIGHT, WITH ANALYSIS OF SIX PERCENT (6%) NITROGEN, TWENTY PERCENT (20%) PHOSPHORUS AND TWENTY PERCENT (20%) POTASH (6-20-20). FERTILIZER SHALL BE IN PELLET OR GRANULAR FORM. USE BEST CROP MAKER OR APPROVED EQUAL. APPLY TO ALL PLANTING AREAS AS DESCRIBED IN SOIL PREPARATION.

ONE (1) GALLON CONTAINER	1 TABLET
FIVE (5) GALLON CONTAINER	3 TABLETS
FIFTEEN (15) GALLON CONTAINER	5 TABLETS
24" BOX TREES	7 TABLETS
- TOP DRESS: ALL PLANTED AREAS SHALL RECEIVE A THREE-INCH (3") MULCH OF RED FIR WALK-ON BARK. REFER TO PLANTING PLANS FOR LOCATIONS OF SHRUB PLANTING AREAS AND GROUNDCOVER AREAS.
- NO TREES SHALL BE PLANTED WITHIN FIVE FEET (5') OF UNDERGROUND WATER MAINS.
- ALL PLANTING WORK SHALL BE IN ACCORDANCE WITH THE COUNTY OF CONTRA COSTA AND CITY OF BRENTWOOD LANDSCAPE AND IRRIGATION REQUIREMENTS.
- MULCH: RED FIR WALK-ON BARK, 3/4" TO 1-1/2" SIZE, WITH NOT OVER 1.0% WOOD FIBERS, FREE OF SALT, FOREIGN MATERIALS SUCH AS CLODS, COARSE OBJECTS, STICKS, WEEDS OR WEED SEED, AND OTHER DEBRIS CONSIDERED UNDESIRABLE. THE PH SHALL NOT EXCEED 6.5. SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND DELIVERY. CONTRACTOR AND SUPPLIER SHALL ENSURE BARK MULCH MEETS LOCAL FIRE DEPARTMENT STANDARDS. VERIFICATION SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT ENSURING BARK MULCH IS NON-FLAMMABLE. ALL SHRUB PLANTING AREAS ARE TO RECEIVE A THREE-INCH (3") LAYER OF MULCH. ALL GROUNDCOVER AREAS SHALL RECEIVE A TWO-INCH (2") LAYER OF BARK MULCH. REFER TO PLANTING PLANS FOR LOCATIONS OF SHRUB PLANTING AREAS AND GROUNDCOVER AREAS.



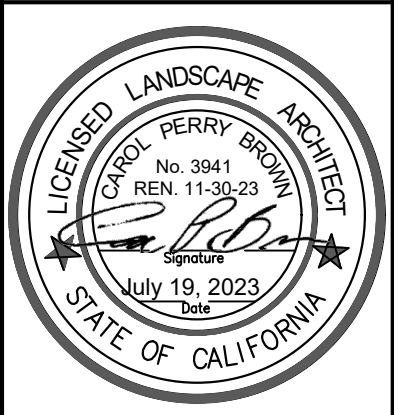
PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
TREES			
	Lagerstroemia indica x faunei 'Tuscarora' / Tuscarora Crape Myrtle	24"box	2
SHRUBS			
	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal	15
	Diets bicolor 'Moraea' / Fortnight Lily	5 gal	47
	Erigeron karvinskianus 'Profusion' / Santa Barbara Daisy	5 gal	40
	Muhlenbergia capillans 'Pink Cloud' / Pink Muhly	1 gal	32
VINE/ESPALIER			
	Ficus pumila / Creeping Fig	5 gal	5
GROUND COVERS			
	Delosperma cooperi 'John Proffitt' TM / Table Mountain Purple Ice Plant	1 gal	20' o.c.
	Myoporum parvifolium 'Prostratum' / Myoporum	1 gal	42' o.c.

SHEET SCHEDULE:

REFER TO SHEET LP-1 FOR PLANTING PLAN & LEGEND
 REFER TO SHEET LP-2 FOR PLANTING DETAILS & SOIL ANALYSIS
 REFER TO SHEET LP-3 FOR PLANTING SPECIFICATIONS

AM/PM CAR WASH
 CAR WASH
 Balfour Drive
 Brentwood, CA



PLANTING PLAN



October 10, 2023

RE: AM/PM Car Wash Addition
2250 Balfour RD
Brentwood, CA 94513

PROJECT DESCRIPTION

This is an existing AM/PM market, fueling and car wash. We are proposing to add on to each end of the existing car wash to increase the tunnel from about 50' to 80'. We will be changing from a roll-over type car wash equipment to a conveyor system. This will speed up the time it takes to wash the car from about 5 minutes to about 3 minutes. We will also be removing the 2 container type vacuums and installing a central vacuum system with 5 vacuum positions. The new vacuums will have a shade fabric over them. We will be relocating the trash enclosure. We are not making any changes to the fueling or convenience store with this addition. We will be adding a dog wash. The two trellises one at the entrance to the car wash and one at the exit of the car wash are being removed.

Architecture: The architecture of the new addition will match the existing building. We will be removing the existing gazebo where the new vacuums will be going.

Parking: We are not losing any parking stalls with this addition. There are currently 14 parking stalls and 2 vacuum stalls. We will delete the two existing vacuum stalls and trash enclosure and relocate 5 parking stalls to this location. We are then adding 5 new self serve vacuum parking stalls. So we have the number of standard parking stalls as we had before, 14.

Landscaping: The existing landscaping is in good condition. We will be replacing landscaping in areas where the new work is being performed. We will be connecting into existing landscaping irrigation controls.

Time of Operation: Since we are not next to any residential use, we would like to operate the car wash from 7am to 9pm daily. The convenience store and fueling is 24/7.