

SHEPHERD'S GATE

COTTAGE ADDITION

BRENTWOOD, CA | JUNE 22, 2023

RECEIVED

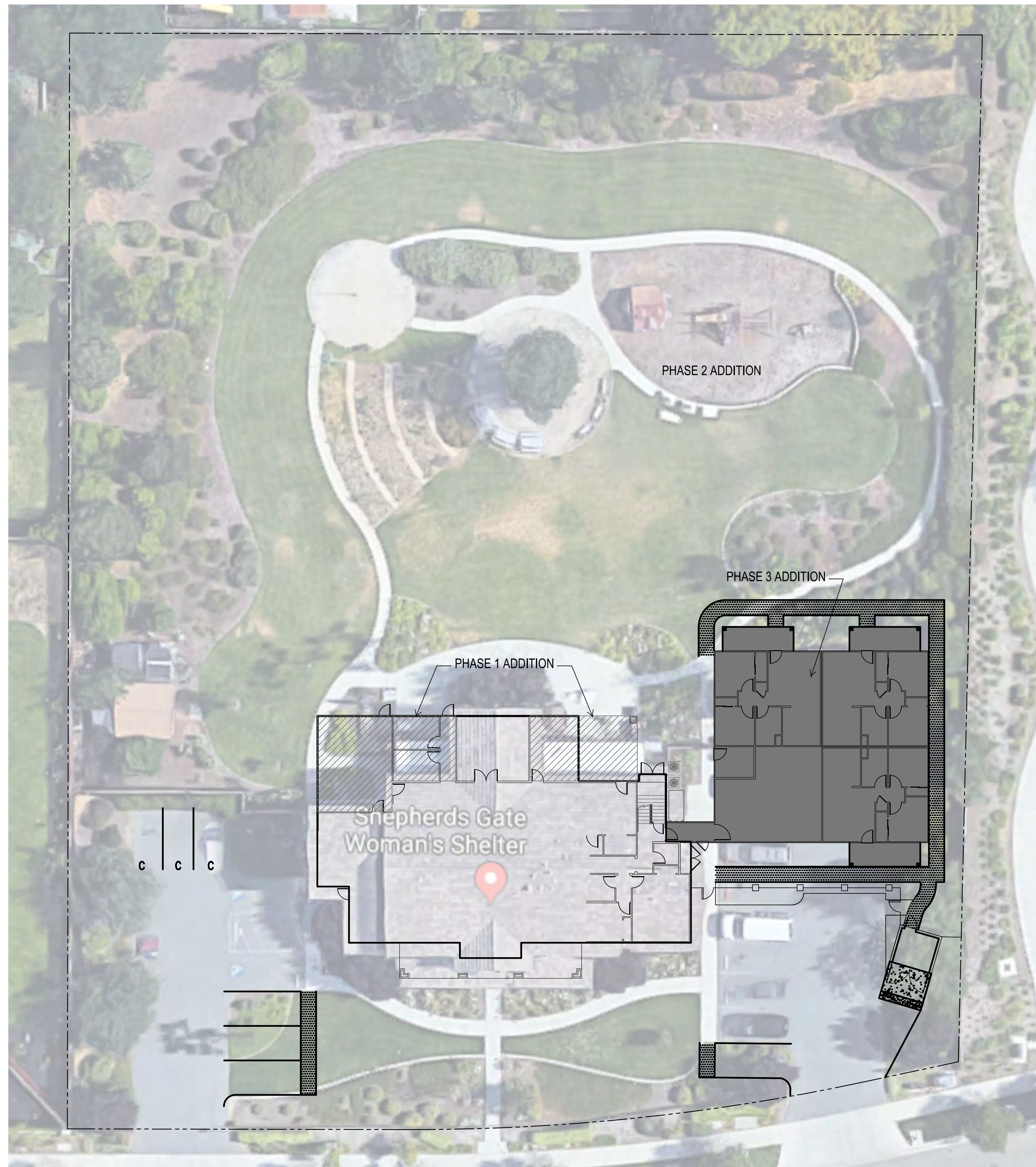
Jun 22, 2023

CITY OF BRENTWOOD
COMMUNITY DEVELOPMENT DEPT

Shepherd's  Gate

SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



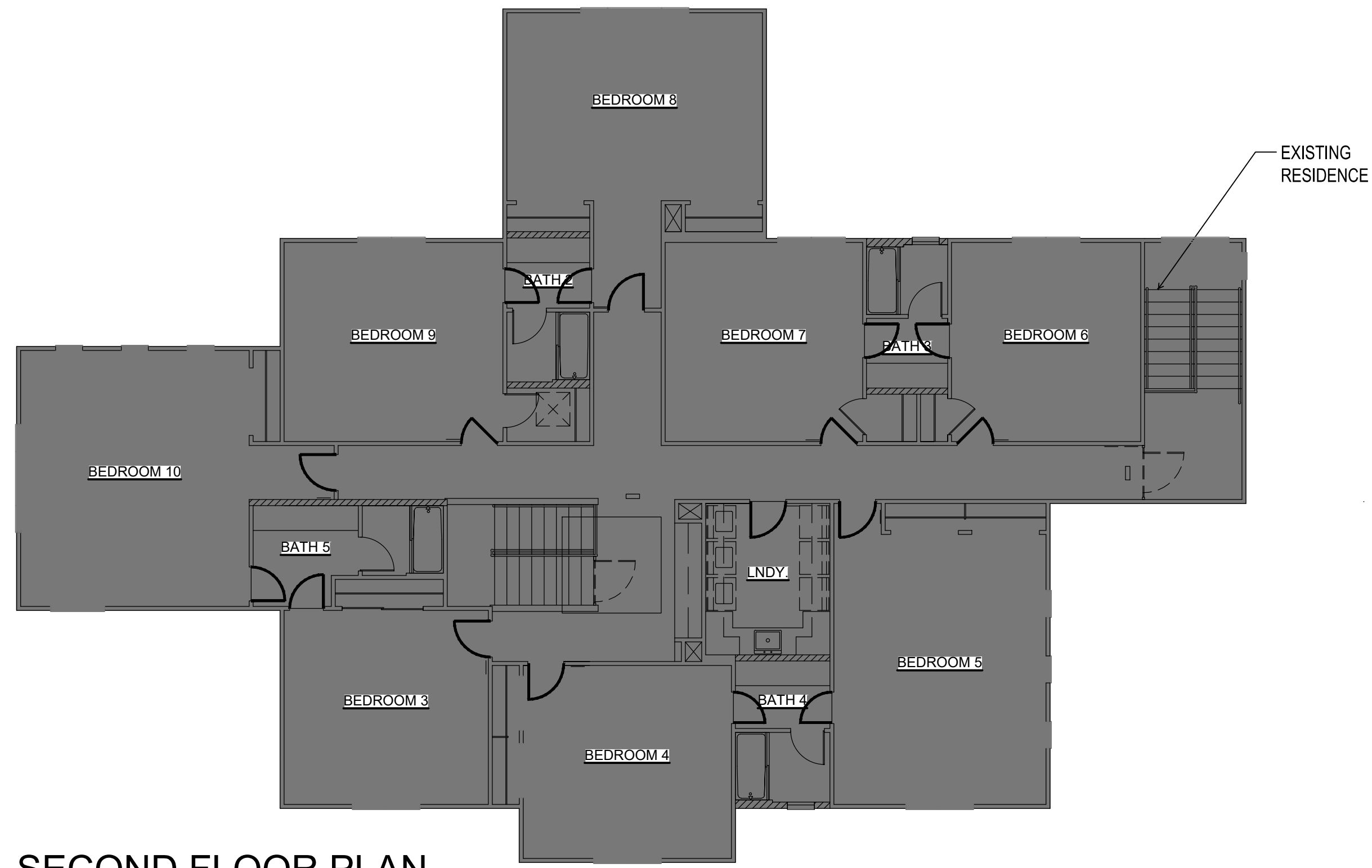


900.415 Shepherd's Gate Cottage Addition
 Brentwood, CA
 June 22, 2023

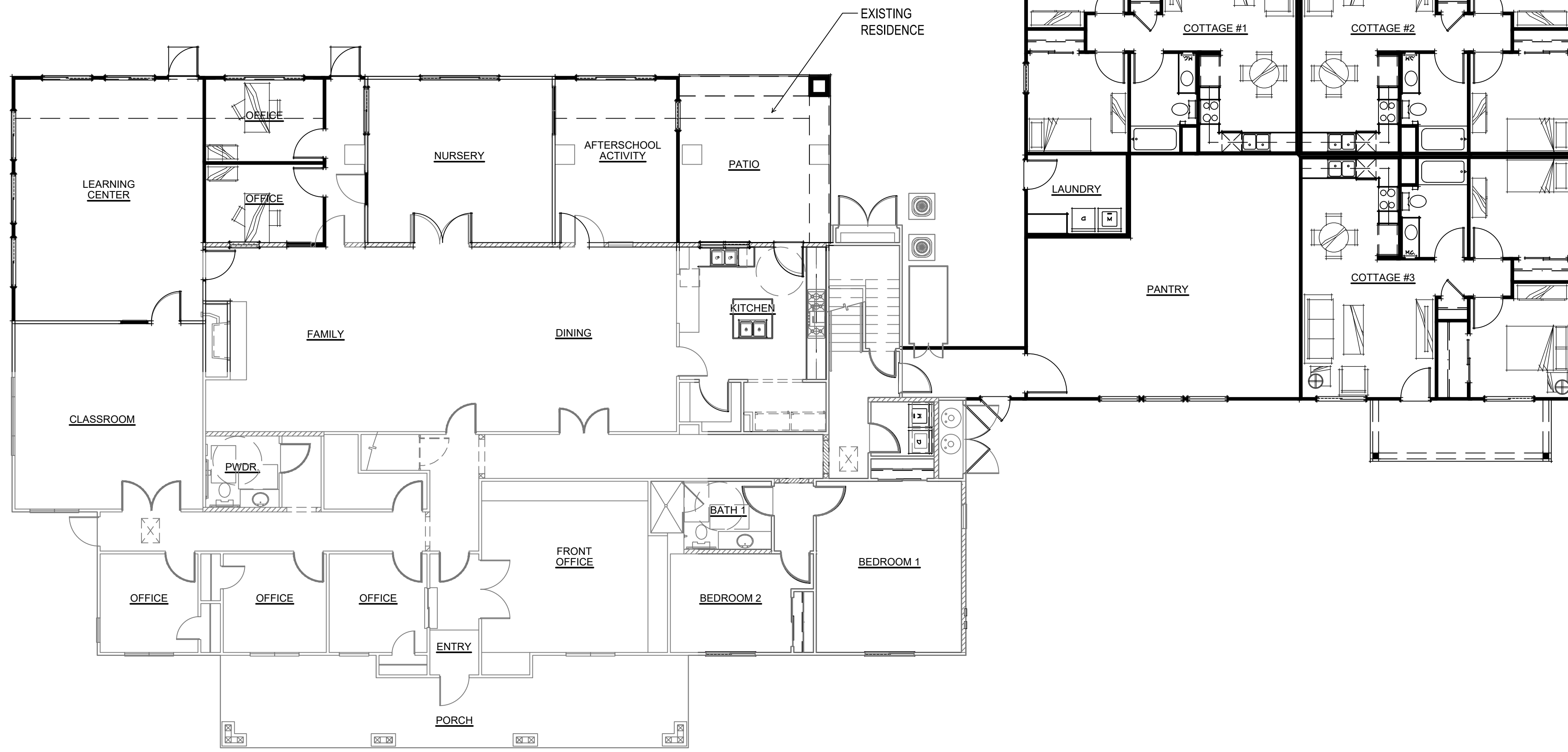
ARCHITECTURAL SITE PLAN
 A1

SDG Architects, Inc.
 3361 Walnut Blvd, Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com

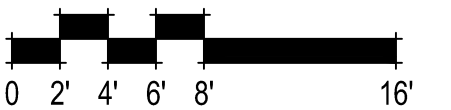


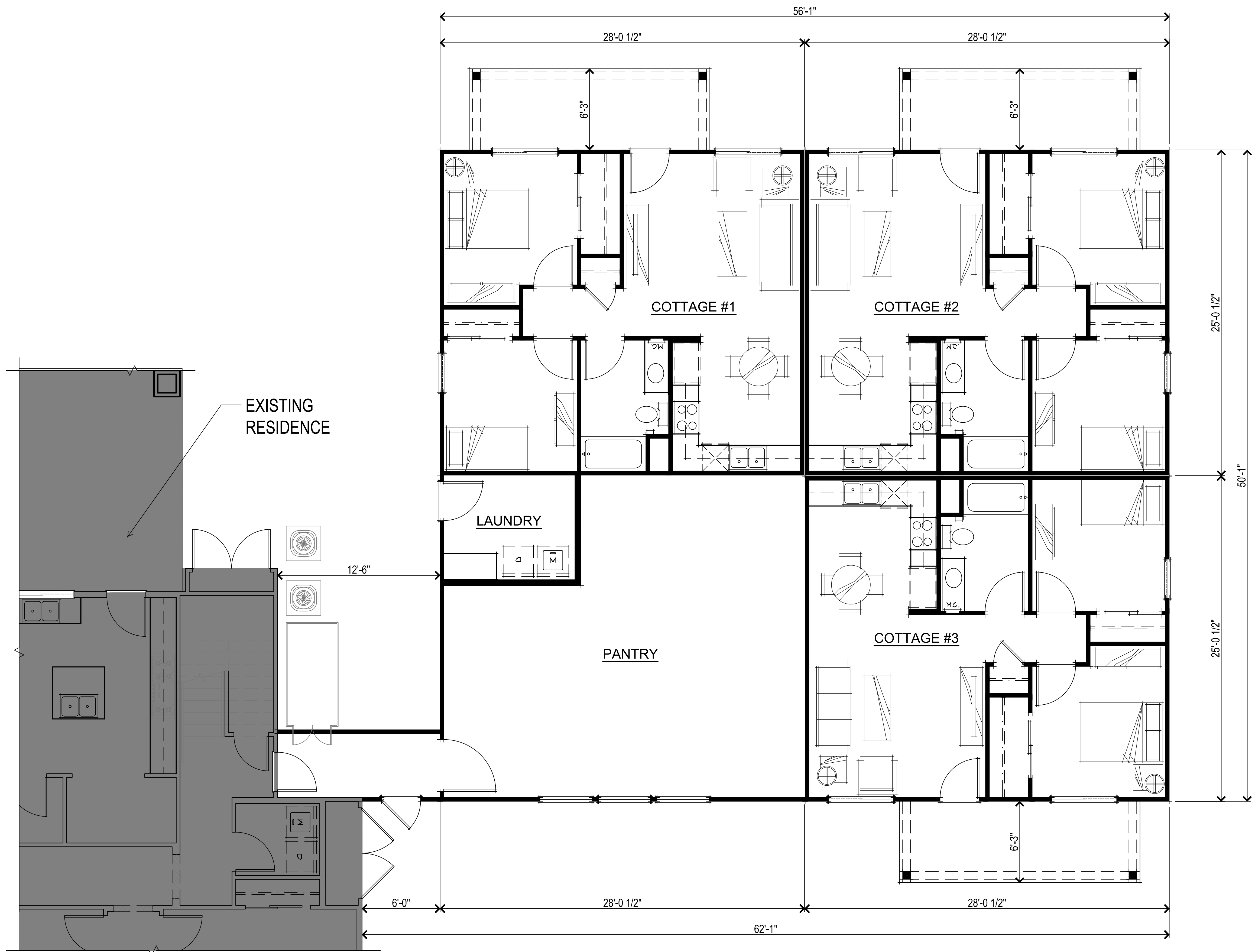


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

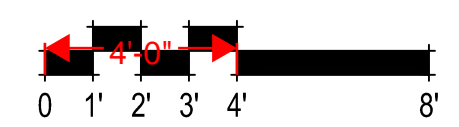


FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"





SQUARE FOOTAGES	
COTTAGE #1	702 SQ. FT.
COTTAGE #2	702 SQ. FT.
COTTAGE #3	702 SQ. FT.
GENERAL SPACES	771 SQ. FT.
ADDITION TOTAL	2877 SQ. FT.



900.415 Shepherd's Gate Cottage Addition
 Brentwood, CA
 June 22, 2023

COTTAGE ADDITION FLOOR PLAN
 A3

EXTERIOR ELEVATION MATERIALS

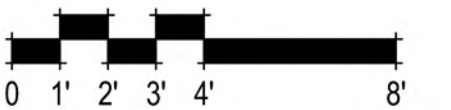
- FLAT TILE CONCRETE ROOF
- STUCCO WALL FINISH
- GABLE ROOF FORMS
- WOOD PORCH POSTS w/ TRIM
- STUCCO w/ 2x FOAM TRIM
- SHAPED CORBELS @ GABLES
- BOARD & BATTEN GABLE DETAIL



RIGHT ELEVATION



FRONT ELEVATION



FRONT & RIGHT ELEVATIONS

A4





REAR ELEVATION

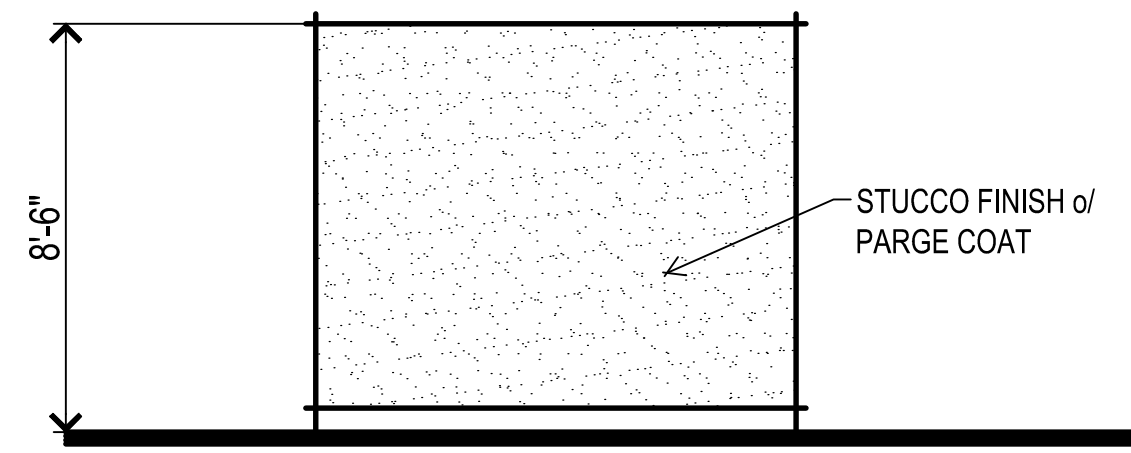


900.415 Shepherd's Gate Cottage Addition
Brentwood, CA
June 22, 2023

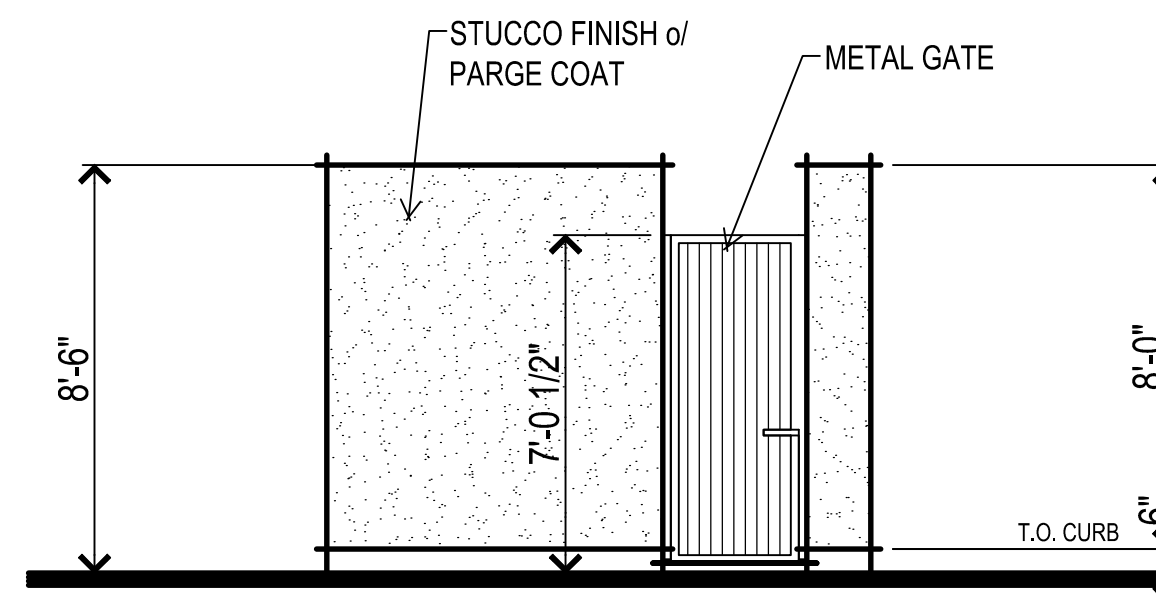
REAR ELEVATION
A5

SDG Architects, Inc.
3361 Walnut Blvd, Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com

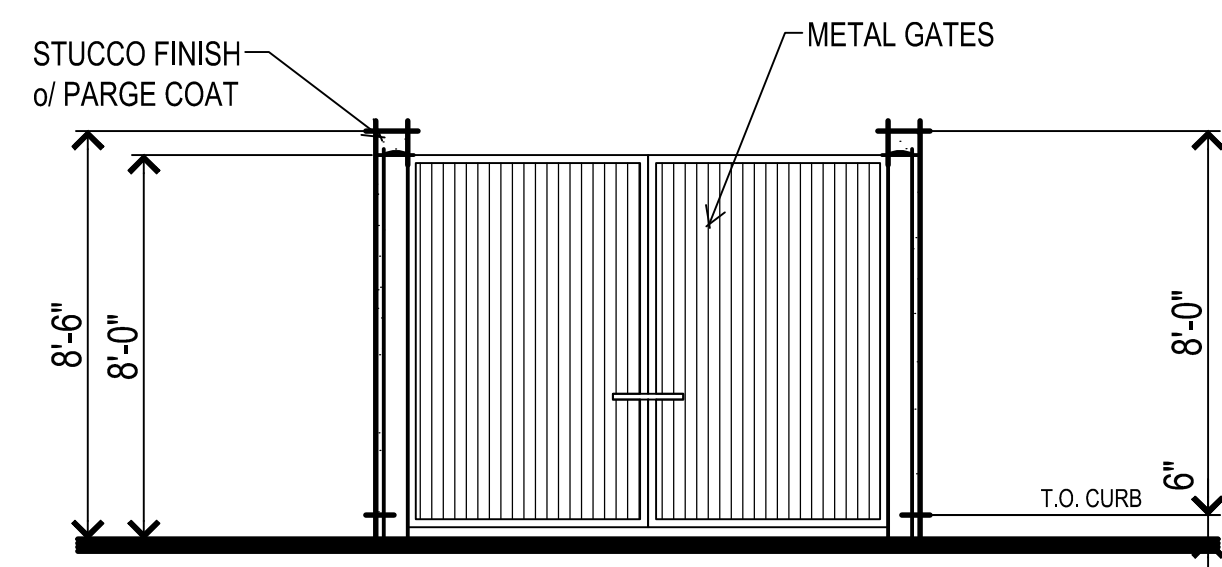




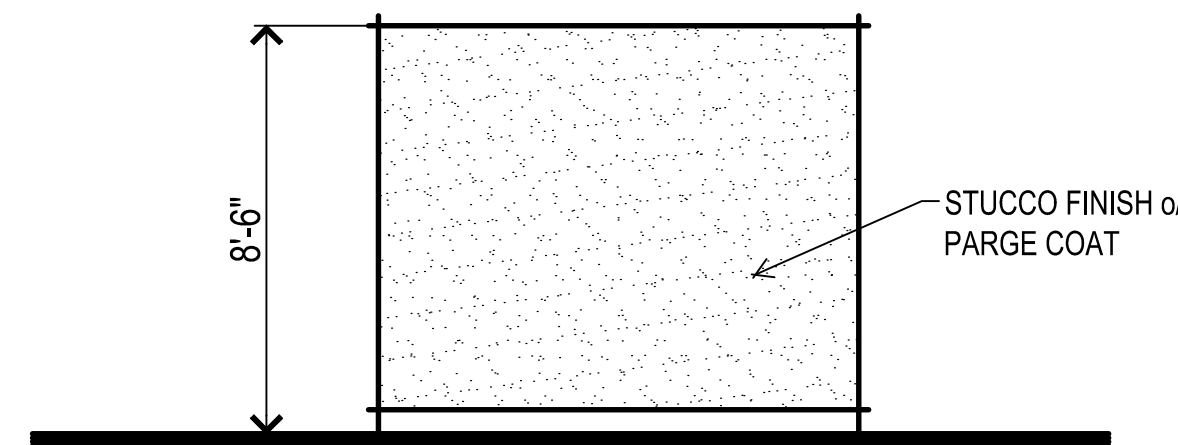
REAR ELEVATION



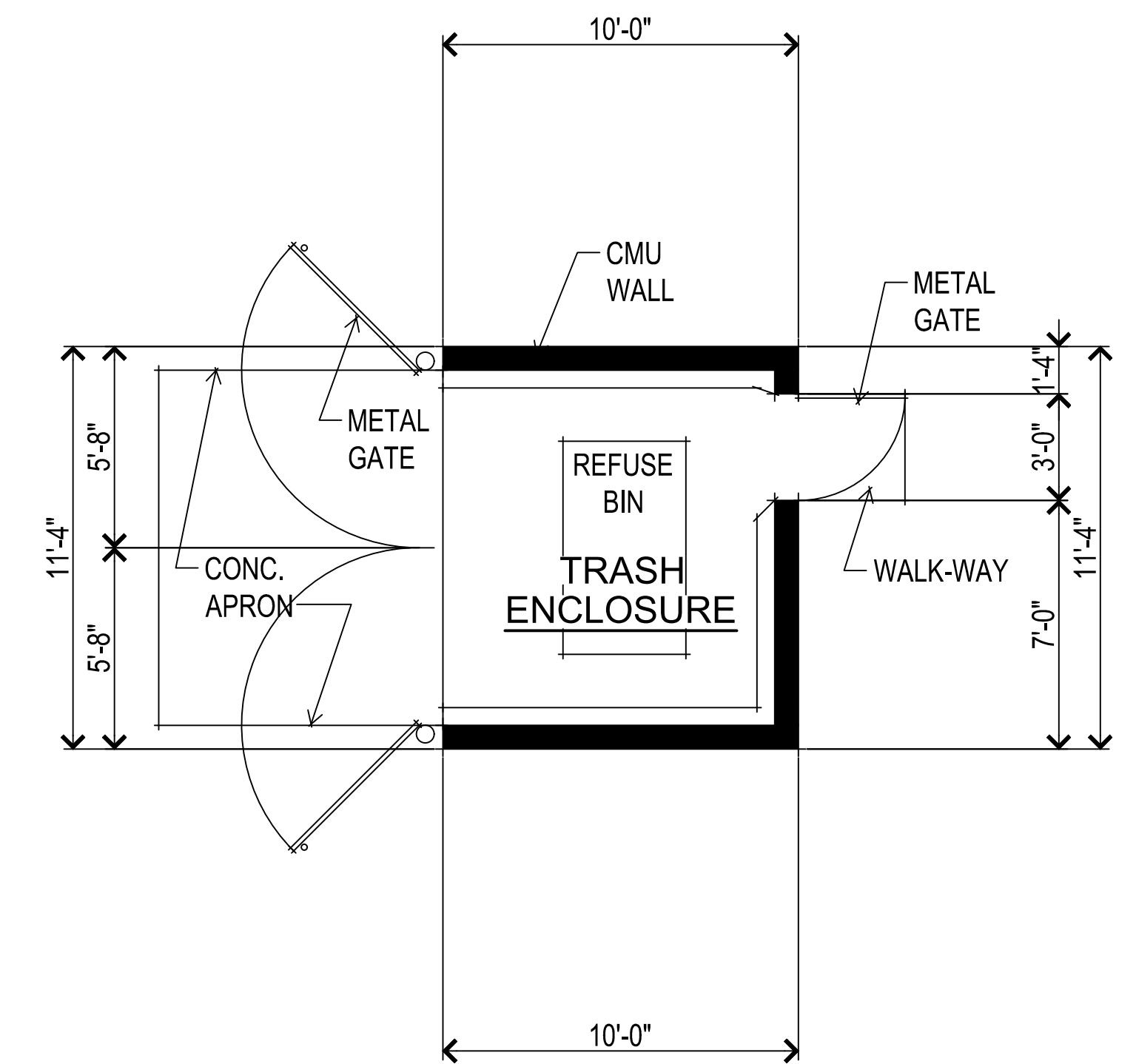
RIGHT ELEVATION



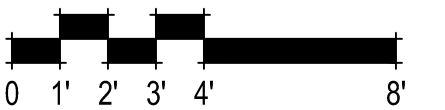
LEFT ELEVATION

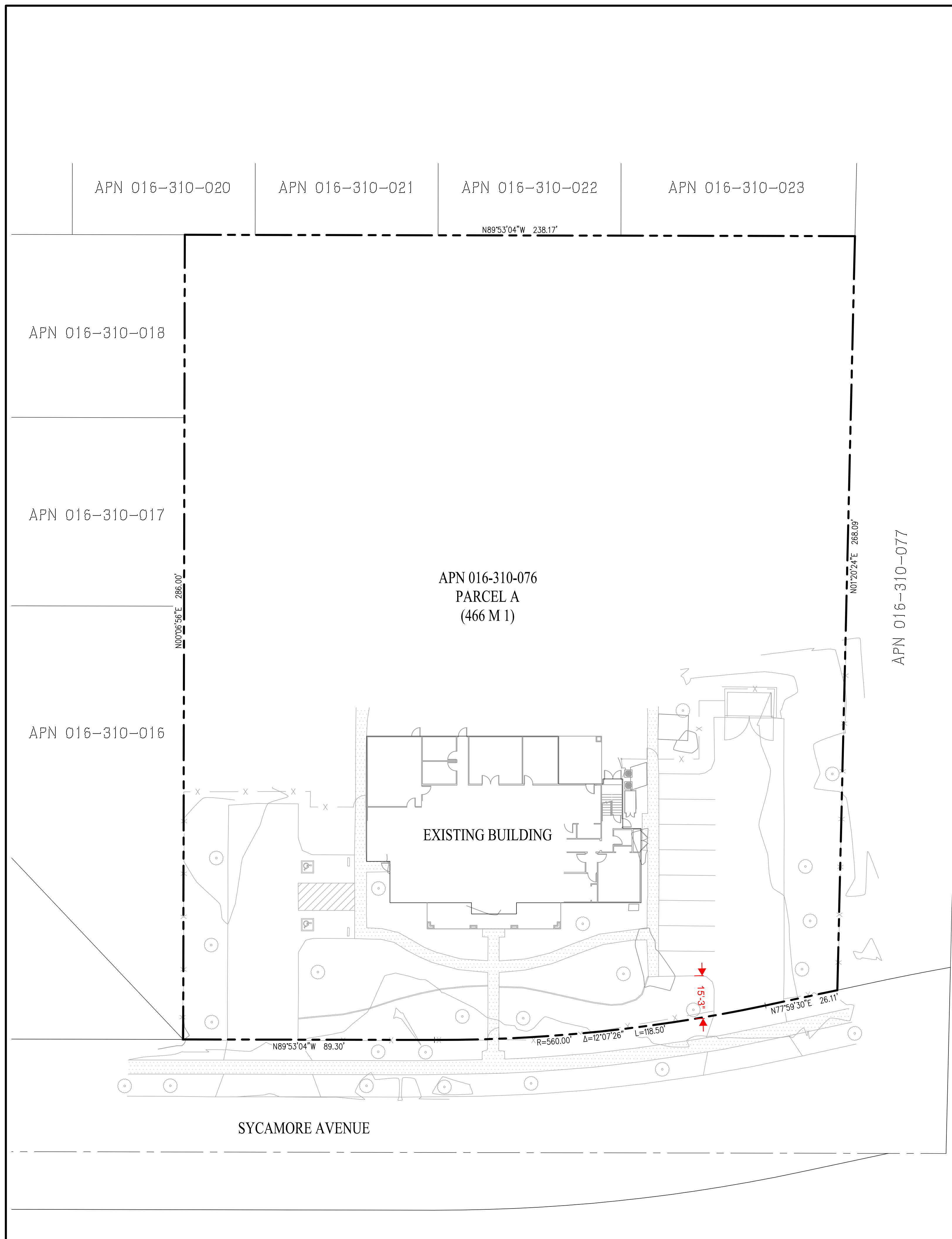


FRONT ELEVATION



PLAN VIEW
SCALE: 1/4" = 1'-0"



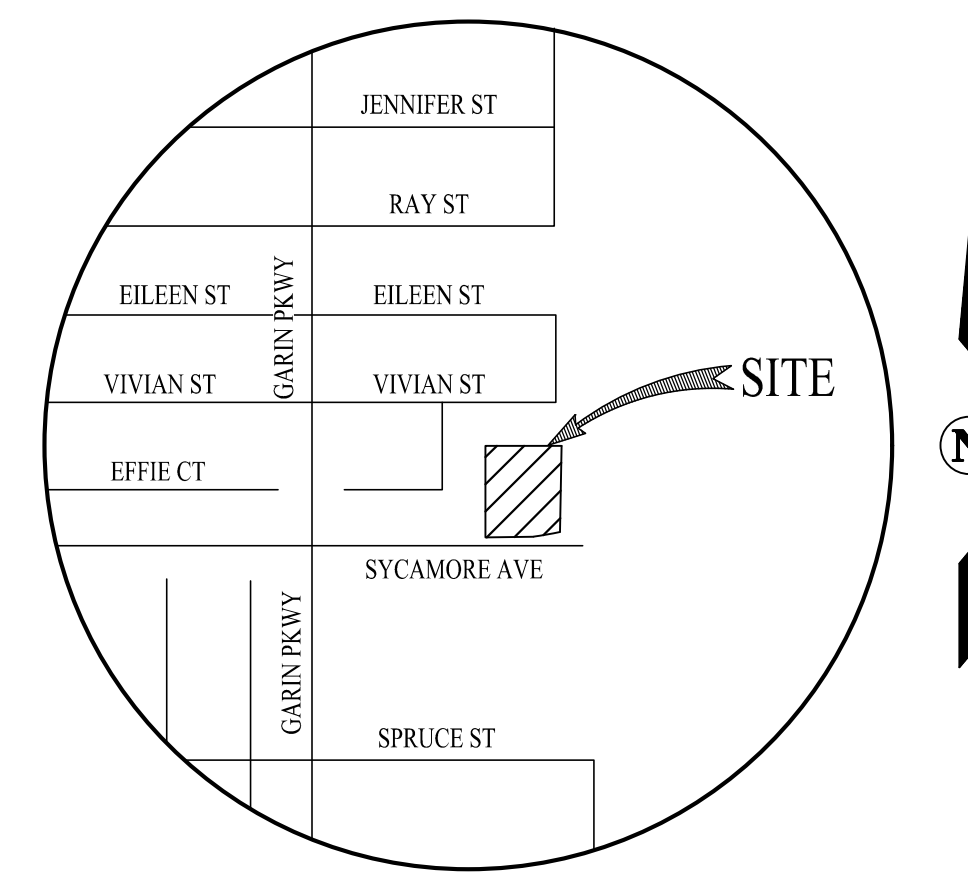


GENERAL NOTES:

- OWNER/APPLICANT: SHEPHERD'S GATE
605 SYCAMORE AVENUE
BRENTWOOD, CA 94513
(925) 308-7507
JILL GANDARA
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
TERRY REEVES, RCE 75174
- SOILS ENGINEER: TBD
- BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS CONTRA COSTA COUNTY BENCHMARK 1267, NAIL & TAG, 50± NORTH OF CENTERLINE OF BALFOUR ROAD, 120± EAST OF CENTERLINE SELLERS AVENUE, ON TOP OF NORTH END OF NORTHWEST WALL ON IRRIGATION CANAL JUNCTION BOX ELEVATION: 59.373 (NAVD 88)
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY WAS DETERMINED BY FOUND STATIONS 2100 AND 2111 PER RECORD OF SURVEY ENTITLED "G.P.S. CONTROL NETWORK, RS 2496," FILED IN BOOK 118 OF LICENSED SURVEYOR'S MAPS AT PAGE 40, CONTRA COSTA COUNTY RECORDS, THE BEARING BEING N01°10'38"E.
- FLOOD ZONE: ZONE X
REFER TO FLOOD INSURANCE RATE MAP
PANEL 0601300360G (AUGUST 3, 2009)
- SITE ADDRESS: 605 SYCAMORE AVENUE
BRENTWOOD, CA 94513
- ASSESSORS PARCEL NO: 016-310-076
- GENERAL PLAN LAND USE: EXISTING & PROPOSED: RESIDENTIAL-LOW DENSITY (R-LD)
- ZONING: EXISTING: PD-45 (MAXIMUM OF 18 WOMEN AND CHILDREN)
PROPOSED: MODIFIED PD-45 (MAXIMUM OF 24 WOMEN AND CHILDREN)
- SITE AREA: 1.52± AC
- EXISTING STRUCTURES: EXISTING BUILDING TO REMAIN, EXISTING TRASH ENCLOSURE TO BE REMOVED.
- EXISTING UTILITIES: ALL EXISTING UTILITIES WITHIN THE PROJECT BOUNDARY TO REMAIN UNLESS OTHERWISE NOTED.
- EXISTING TREES: EXISTING TREES WITHIN THE PROJECT BOUNDARY TO REMAIN UNLESS OTHERWISE NOTED.
- WALLS AND FENCING: ALL WALLS AND FENCING WILL BE PRIVATELY OWNED AND PRIVATELY MAINTAINED. ALL EXISTING WALLS AND FENCING TO REMAIN UNLESS OTHERWISE NOTED.
- PUBLIC UTILITIES: ALL UTILITIES WITHIN THE PUBLIC RIGHT OF WAY OR WITHIN A PUBLIC UTILITY EASEMENT WILL BE PUBLIC AND WILL BE PUBLICLY OWNED AND MAINTAINED.
- PRIVATE UTILITIES: ALL UTILITIES WITHIN THE DEVELOPMENT WILL BE PRIVATE AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- UTILITY PROVIDER: SEWER: CITY OF BRENTWOOD
WATER: CITY OF BRENTWOOD
STORM DRAIN: CITY OF BRENTWOOD
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE TV: COMCAST
- LANDSCAPE: ALL LANDSCAPING WITHIN THE DEVELOPMENT WILL BE PRIVATE AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- GRADING: PROPOSED GRADING IS PRELIMINARY. FINAL GRADING IS SUBJECT TO FINAL DESIGN.
- BOUNDARY: THE BOUNDARY AND EASEMENTS SHOWN HEREON ARE BASED UPON RECORD TITLE INFORMATION AS LISTED AND DESCRIBED IN THE PRELIMINARY TITLE REPORT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, DATED APRIL 1, 2022, ORDER NUMBER 0227027929-MP. NO ADDITIONAL TITLE RESEARCH HAS BEEN PERFORMED TO COMPLETE THIS PACKAGE.

ABBREVIATIONS

AC	ASPHALT CONCRETE
AD	AREA DRAIN
BD	BOUNDARY
BW	BACK OF WALK
CL	CENTERLINE
DMA	DRAINAGE MANAGEMENT AREA
DU	DWELLING UNIT
EG	EXISTING GROUND
EP	EDGE OF PAVEMENT
EX	EXISTING
FC	FACE OF CURB
FF	FINISH FLOOR
JT	JOINT TRENCH
LAT	LATERAL
MAX	MAXIMUM
MIN	MINIMUM
OB	OVERBUILD
SF	SQUARE FEET
SD	STORM DRAIN
SS	SANITARY SEWER
SW	SIDEWALK
TC	TOP OF CURB
TBD	TO BE DETERMINED
TSM	TOP OF SOIL MIX
TYP	TYPICAL
W	WATER
WS	WATER SERVICE



VICINITY MAP
NOT TO SCALE

LEGEND

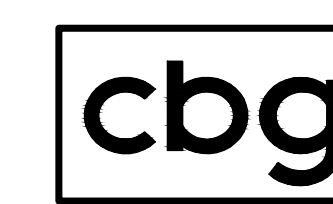
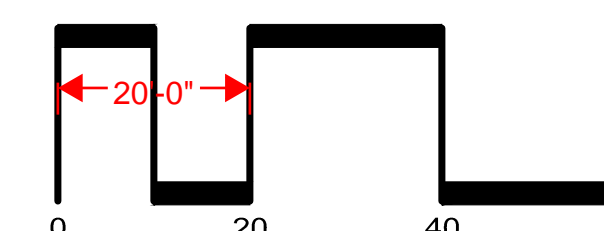
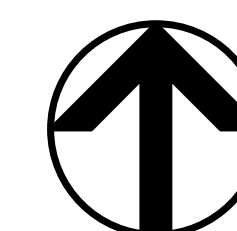
EXISTING	PROPOSED	DESCRIPTION
---	---	PROJECT BOUNDARY
---	---	LOT LINE
---	---	TOP OF CURB
---	---	EDGE OF PAVEMENT
---	---	CENTERLINE
---	---	BUILDING FOOTPRINT
---	---	SIDEWALK / PASEO
---	---	VALLEY GUTTER
---	---	AC PAVEMENT
---	---	BIORETENTION
---	---	STORM DRAIN PIPE
---	---	SANITARY SEWER PIPE
---	---	WATER PIPE
---	---	AREA DRAIN PIPE
---	---	CATCH BASIN
---	---	FIELD INLET
---	---	MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	FENCE
---	---	TREE

SHEET INDEX

SHEET NO.	SHEET TITLE
1	GENERAL NOTES, SHEET INDEX & VICINITY MAP
2	EXISTING CONDITIONS
3	PRELIMINARY SITE PLAN
4	PRELIMINARY GRADING PLAN
5	PRELIMINARY UTILITY PLAN
6	PRELIMINARY PARKING PLAN
7	PRELIMINARY STORMWATER CONTROL PLAN

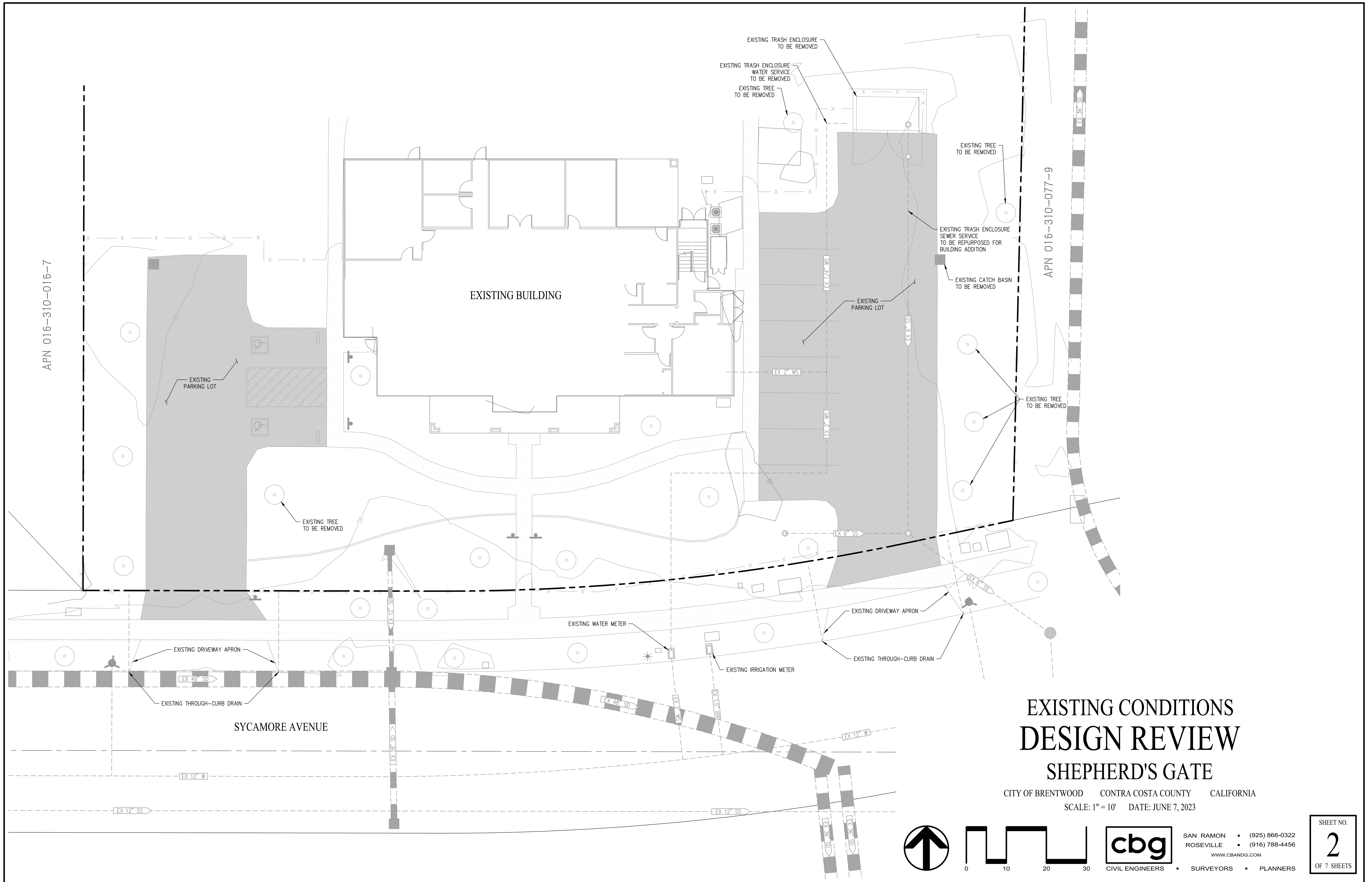
GENERAL NOTES, SHEET INDEX & VICINITY MAP
DESIGN REVIEW
SHEPHERD'S GATE

CITY OF BRENTWOOD CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1" = 20' DATE: JUNE 7, 2023



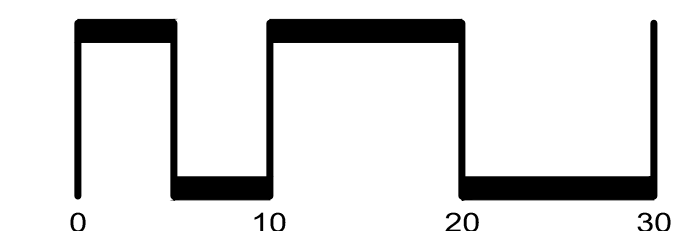
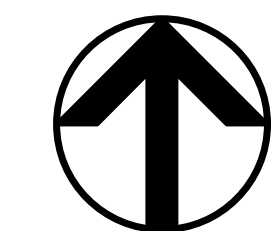
SAN RAMON • (925) 866-0322
ROSEVILLE • (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
1
OF 7 SHEETS



EXISTING CONDITIONS DESIGN REVIEW SHEPHERD'S GATE

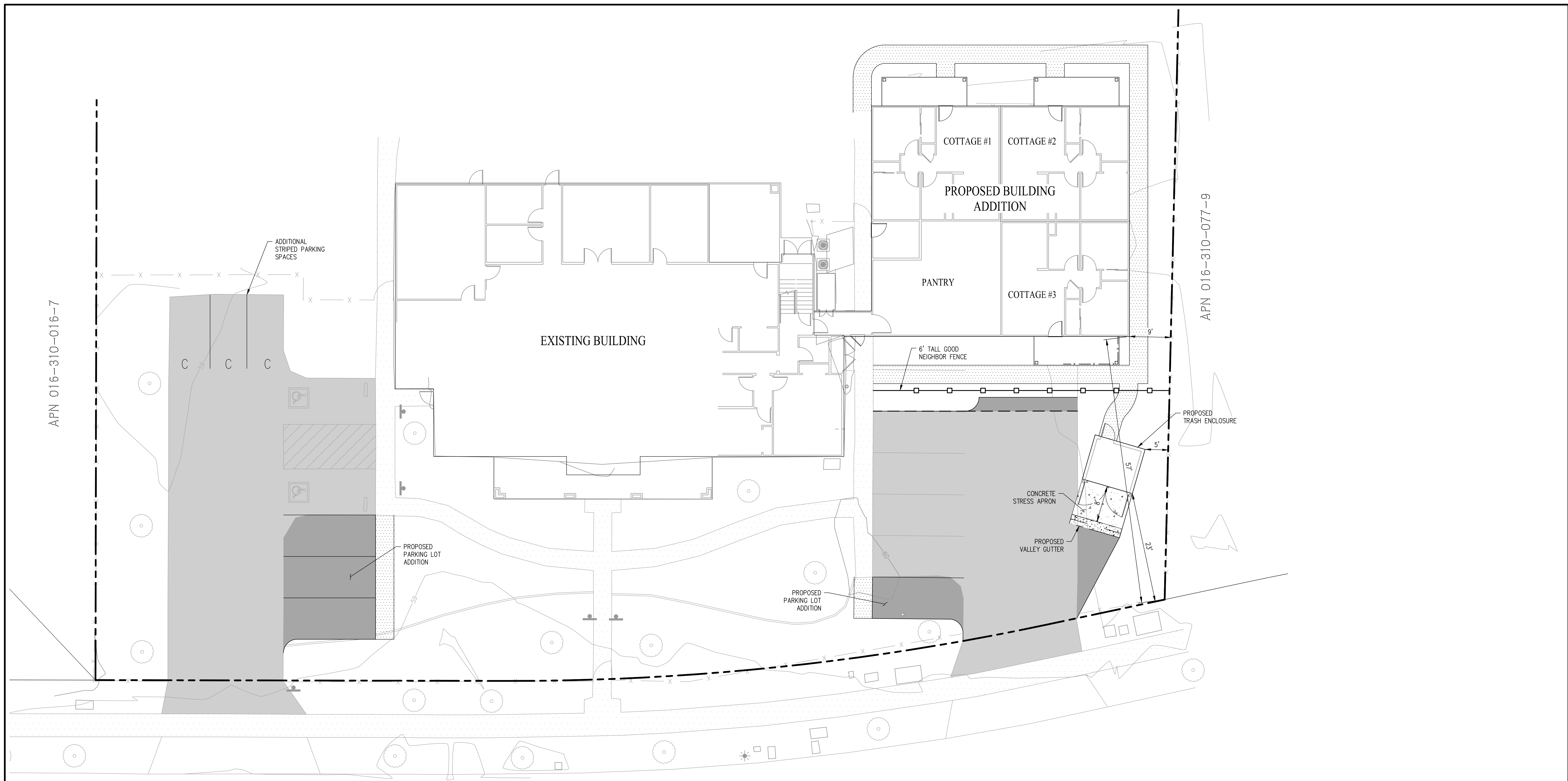
CITY OF BRENTWOOD CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1" = 10' DATE: JUNE 7, 2023



SAN RAMON • (925) 866-0322
ROSEVILLE • (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
2
OF 7 SHEETS

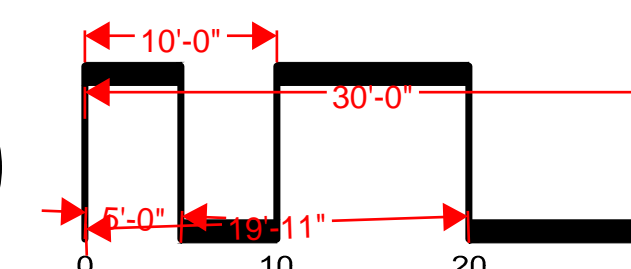
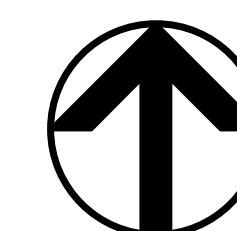
H:\3644-300\ACAD\DR\DR02.DWG



SYCAMORE AVENUE

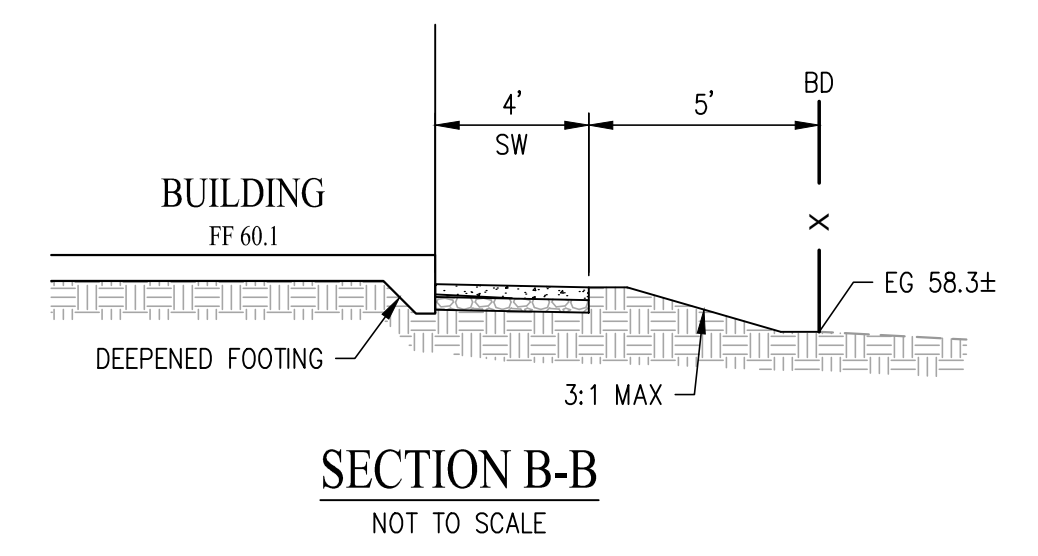
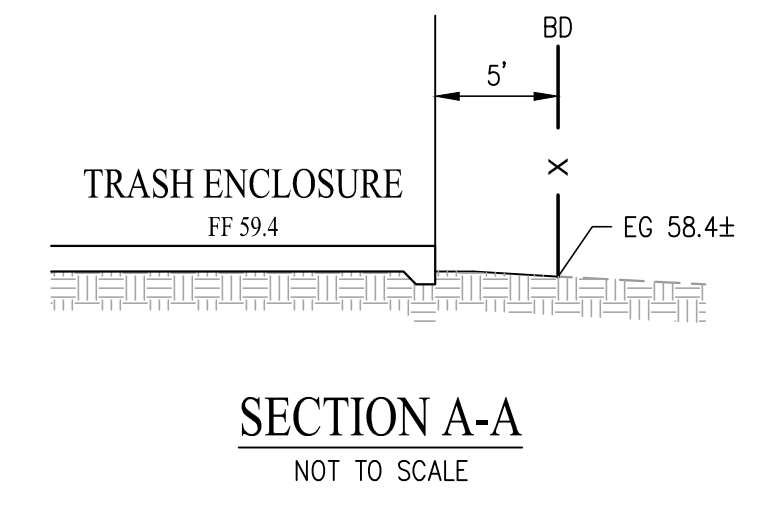
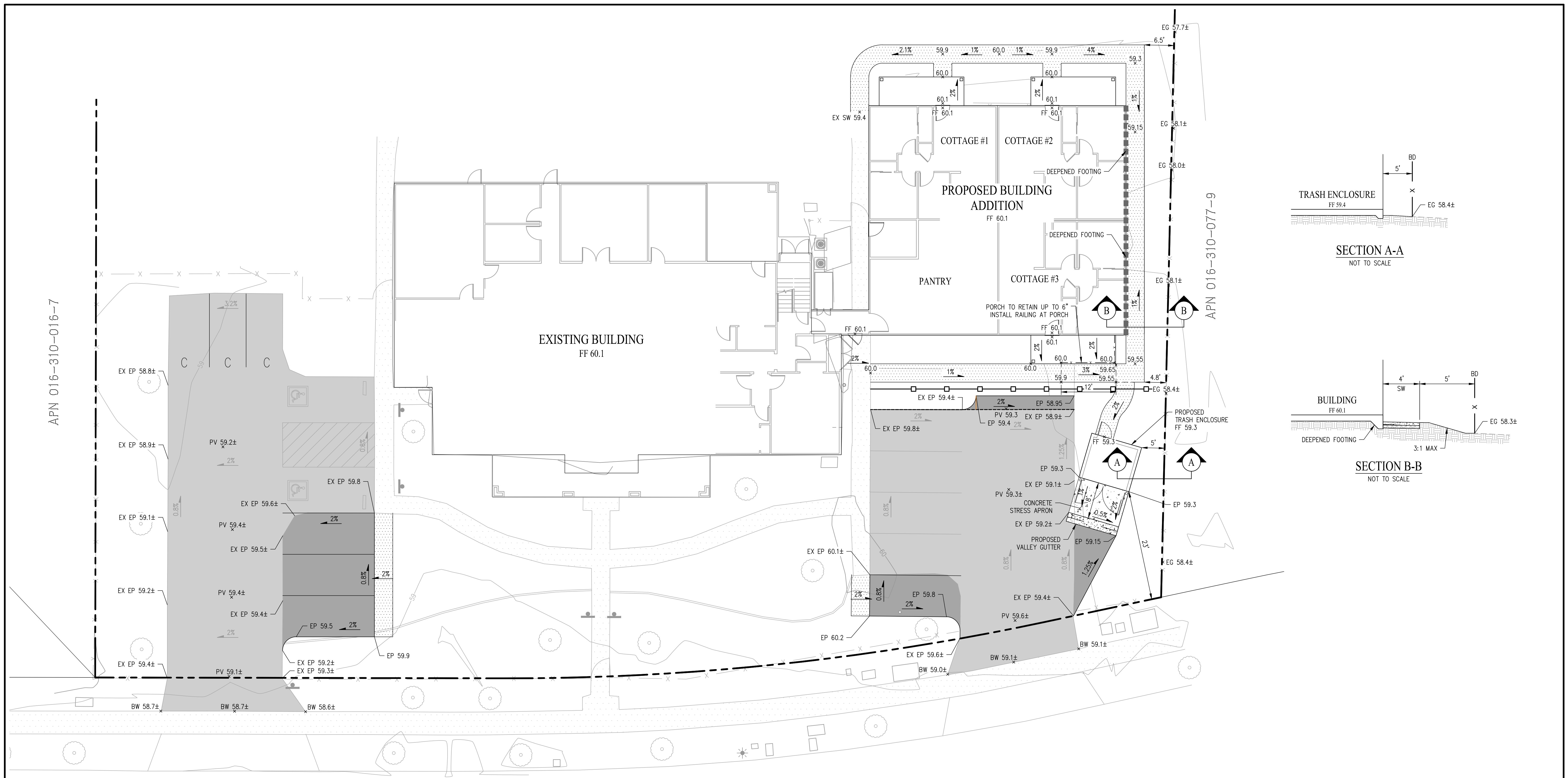
PRELIMINARY SITE PLAN
DESIGN REVIEW
 SHEPHERD'S GATE

CITY OF BRENTWOOD CONTRA COSTA COUNTY CALIFORNIA
 SCALE: 1" = 10' DATE: JUNE 7, 2023



SAN RAMON • (925) 866-0322
 ROSEVILLE • (916) 788-4456
 WWW.CBANDG.COM
 CIVIL ENGINEERS • SURVEYORS • PLANNERS

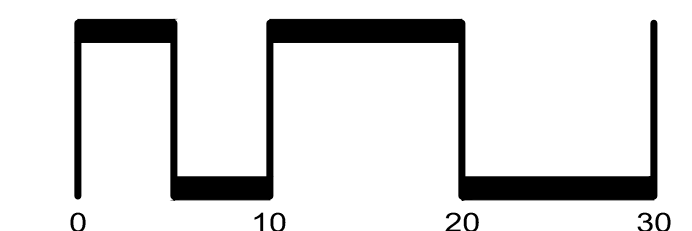
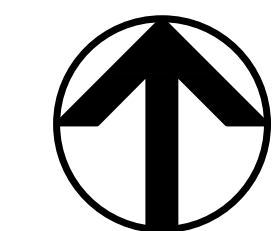
SHEET NO.
3
 OF 7 SHEETS



SYCAMORE AVENUE

PRELIMINARY GRADING PLAN DESIGN REVIEW SHEPHERD'S GATE

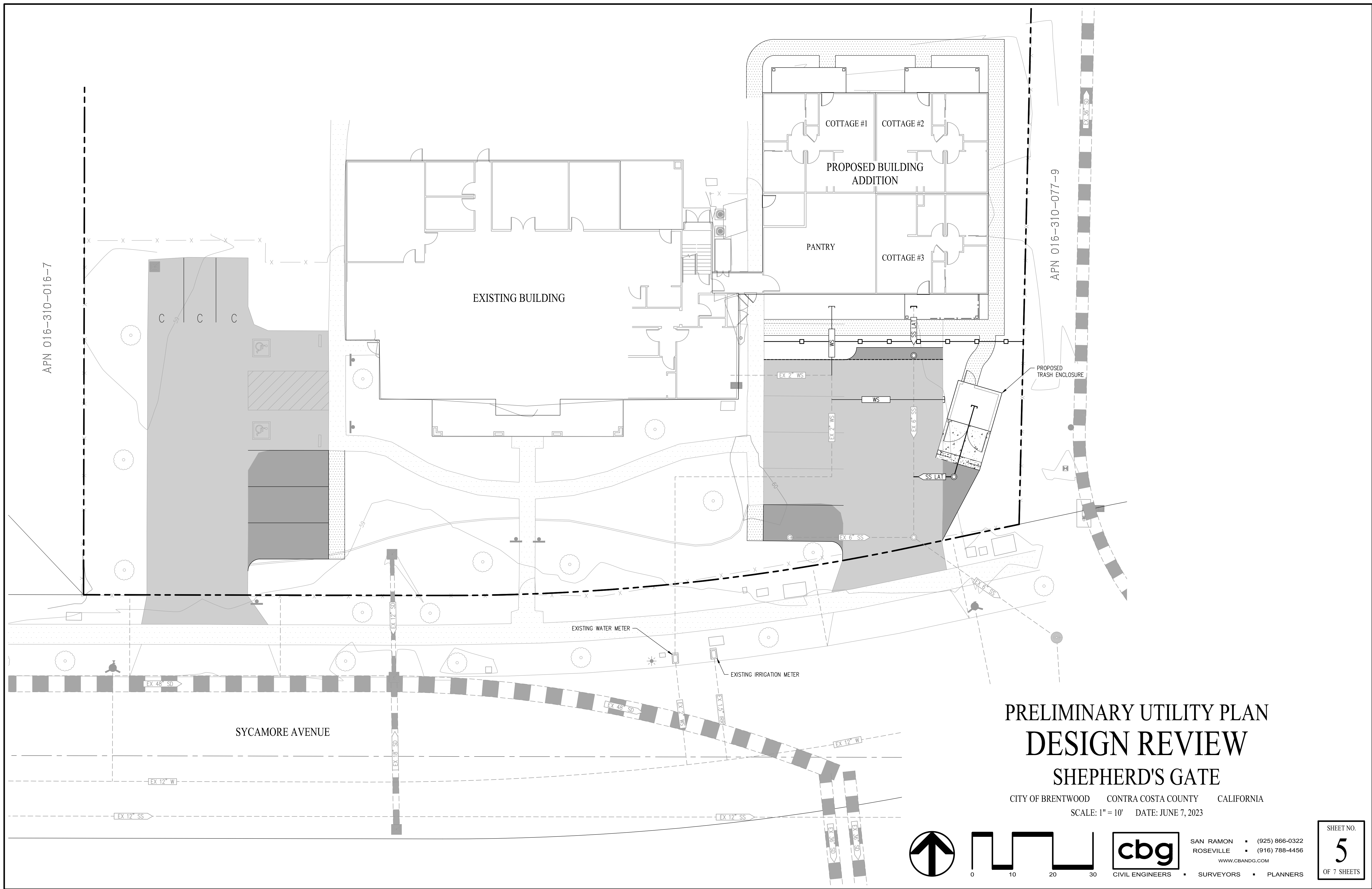
CITY OF BRENTWOOD CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1" = 10' DATE: JUNE 7, 2023



SAN RAMON • (925) 866-0322
ROSEVILLE • (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS

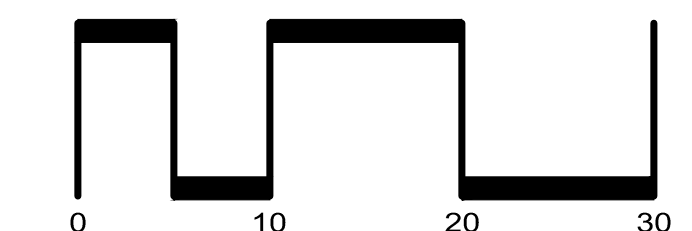
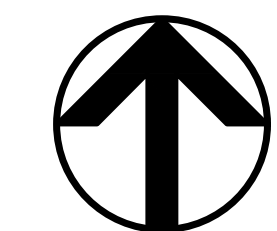
SHEET NO.
4
OF 7 SHEETS

H:\3844-300\ACAD\DR\DR04.DWG



PRELIMINARY UTILITY PLAN
DESIGN REVIEW
 SHEPHERD'S GATE

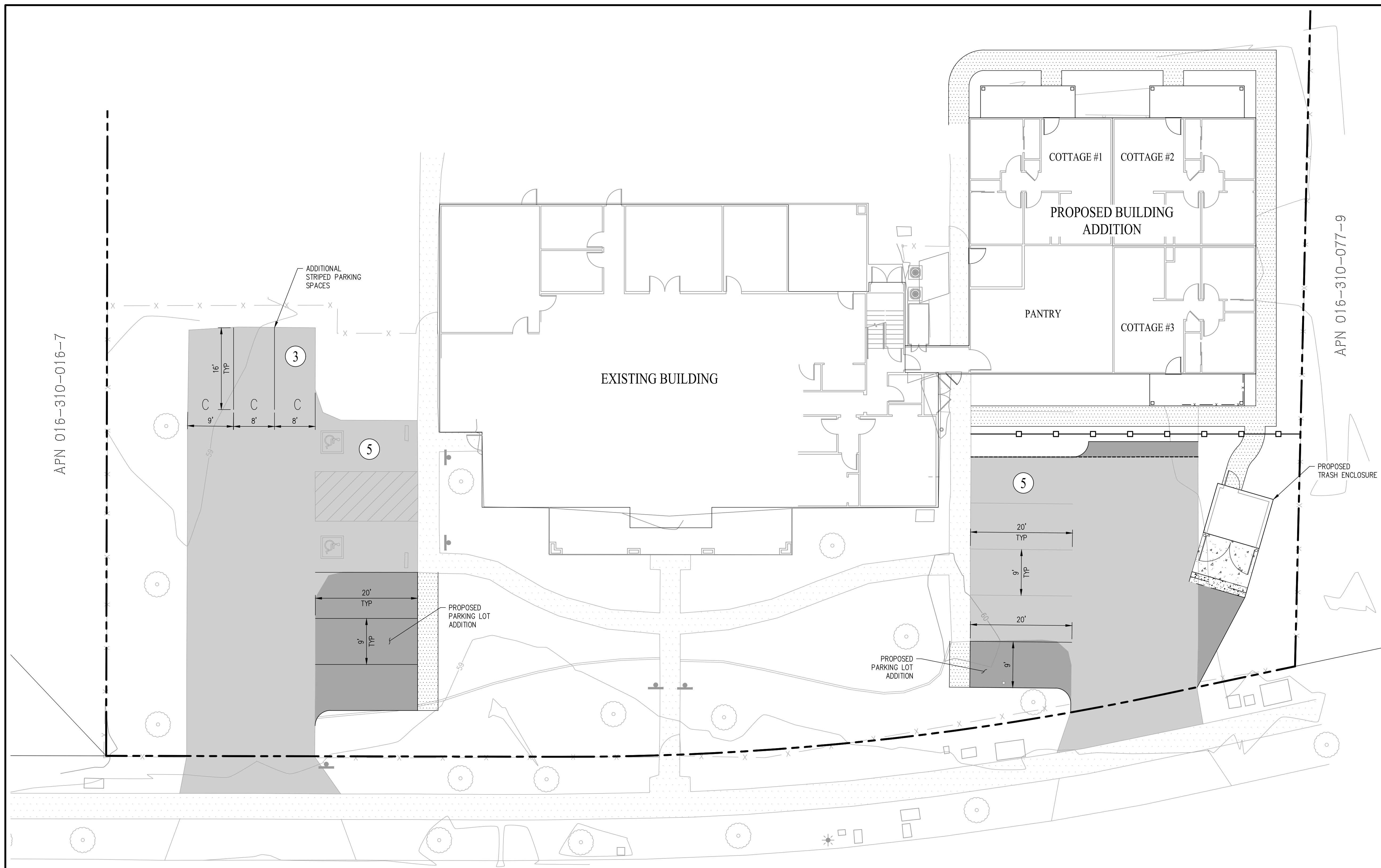
CITY OF BRENTWOOD CONTRA COSTA COUNTY CALIFORNIA
 SCALE: 1" = 10' DATE: JUNE 7, 2023



SAN RAMON • (925) 866-0322
 ROSEVILLE • (916) 788-4456
 WWW.CBANDG.COM
 CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
5
 OF 7 SHEETS

H:\3644-000\ACAD\DR\DR05.DWG



PARKING SUMMARY				
	PARKING REQUIRED			PARKING PROVIDED
	UNITS	RATIO	NUMBER OF SPACES	NUMBER OF SPACES
EXISTING PARKING	---	---	10	10
1 BEDROOM UNIT	3	1 STALL/1 BEDROOM UNIT	3	3
TOTAL	3	---	13	13

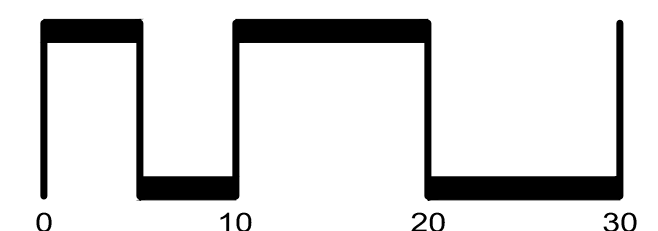
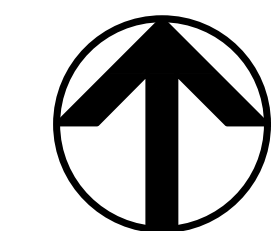
- NOTES:
1. REQUIRED PARKING IS BASED ON SECTION 17.620.012.K: OFF-STREET PARKING SPACES REQUIRED - SPECIFIC USES OF THE CITY OF BRENTWOOD MUNICIPAL CODE.
 2. UP TO 30% OF THE REQUIRED NUMBER OF OFF-STREET PARKING SPACES MAY BE DESIGNATED FOR THE PARKING OF COMPACT CARS ONLY PER SECTION 17.620.021: PARKING LOT DESIGN OF THE CITY OF BRENTWOOD MUNICIPAL CODE.
 3. PARKING ANALYSIS WAS ONLY PERFORMED FOR THE BUILDING ADDITION. ANY PARKING SPACES REMOVED AS A RESULT OF CONSTRUCTING THE NEW BUILDING ADDITION HAVE BEEN REPLACED ELSEWHERE ON SITE.
 4. PARKING IS ASSUMED TO BE UNASSIGNED.
 5. MINIMUM REQUIRED ACCESSIBLE PARKING STALLS SHALL BE PROVIDED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE SECTION 11B.208.2.3: RESIDENTIAL FACILITIES.

PARKING SUMMARY	
PARKING TYPE	QUANTITY
STANDARD PARKING STALL	8
COMPACT PARKING STALL	3
VAN ACCESSIBLE STALL	1
STANDARD ACCESSIBLE STALL	1

SYCAMORE AVENUE

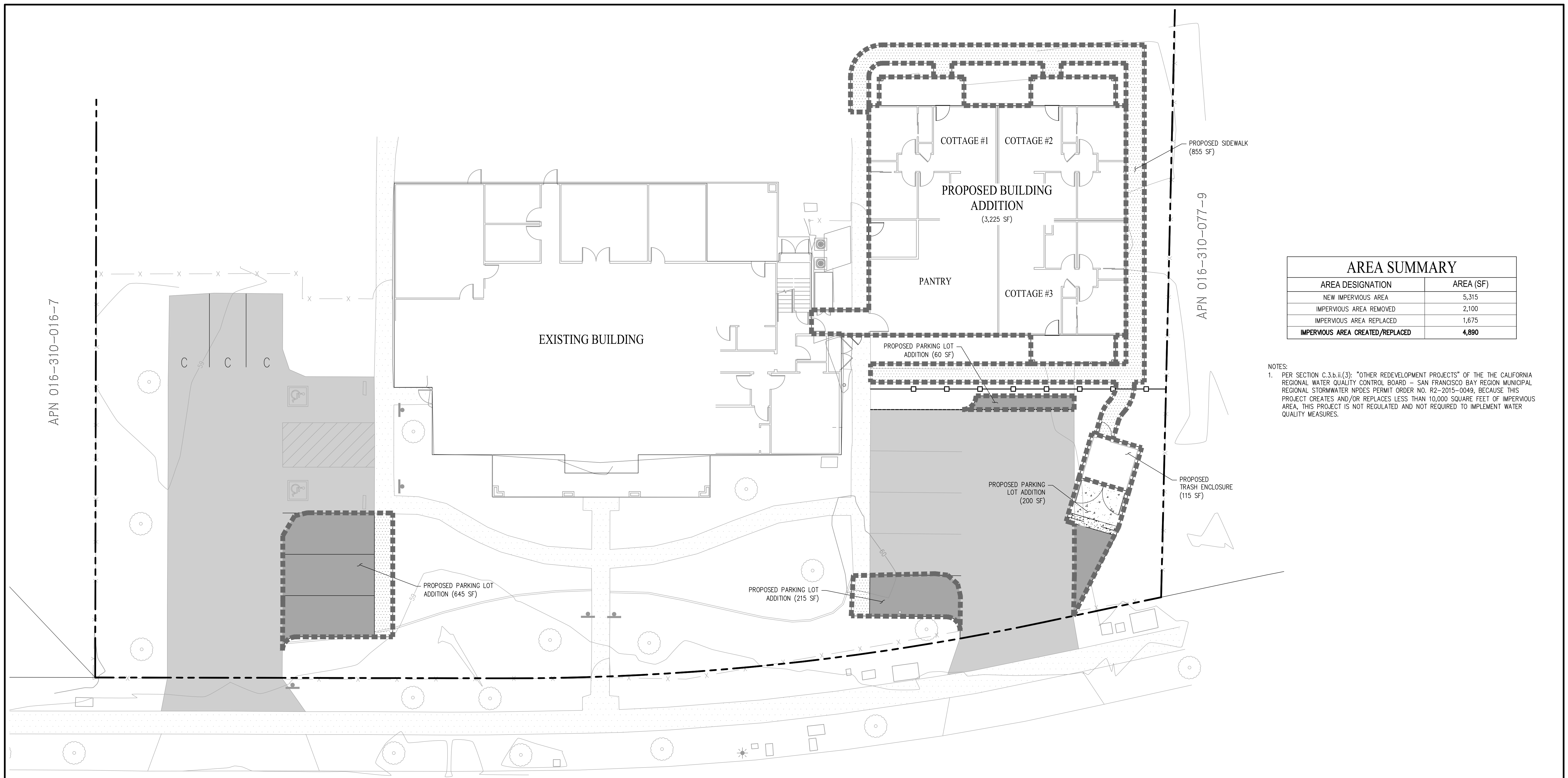
PRELIMINARY PARKING PLAN DESIGN REVIEW SHEPHERD'S GATE

CITY OF BRENTWOOD CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1" = 10' DATE: JUNE 7, 2023



SAN RAMON • (925) 866-0322
ROSEVILLE • (916) 788-4456
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
6
OF 7 SHEETS

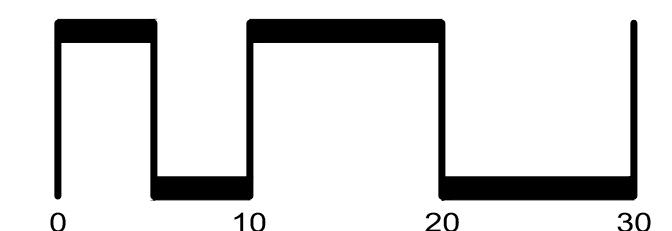
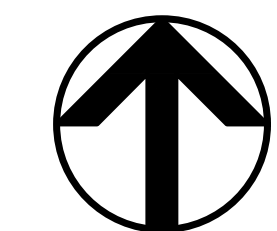


AREA SUMMARY	
AREA DESIGNATION	AREA (SF)
NEW IMPERVIOUS AREA	5,315
IMPERVIOUS AREA REMOVED	2,100
IMPERVIOUS AREA REPLACED	1,675
IMPERVIOUS AREA CREATED/REPLACED	4,890

NOTES:
 1. PER SECTION C.3.b.ii.(3): "OTHER REDEVELOPMENT PROJECTS" OF THE THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD - SAN FRANCISCO BAY REGION MUNICIPAL REGIONAL STORMWATER NPDES PERMIT ORDER NO. R2-2015-0049, BECAUSE THIS PROJECT CREATES AND/OR REPLACES LESS THAN 10,000 SQUARE FEET OF IMPERVIOUS AREA, THIS PROJECT IS NOT REGULATED AND NOT REQUIRED TO IMPLEMENT WATER QUALITY MEASURES.

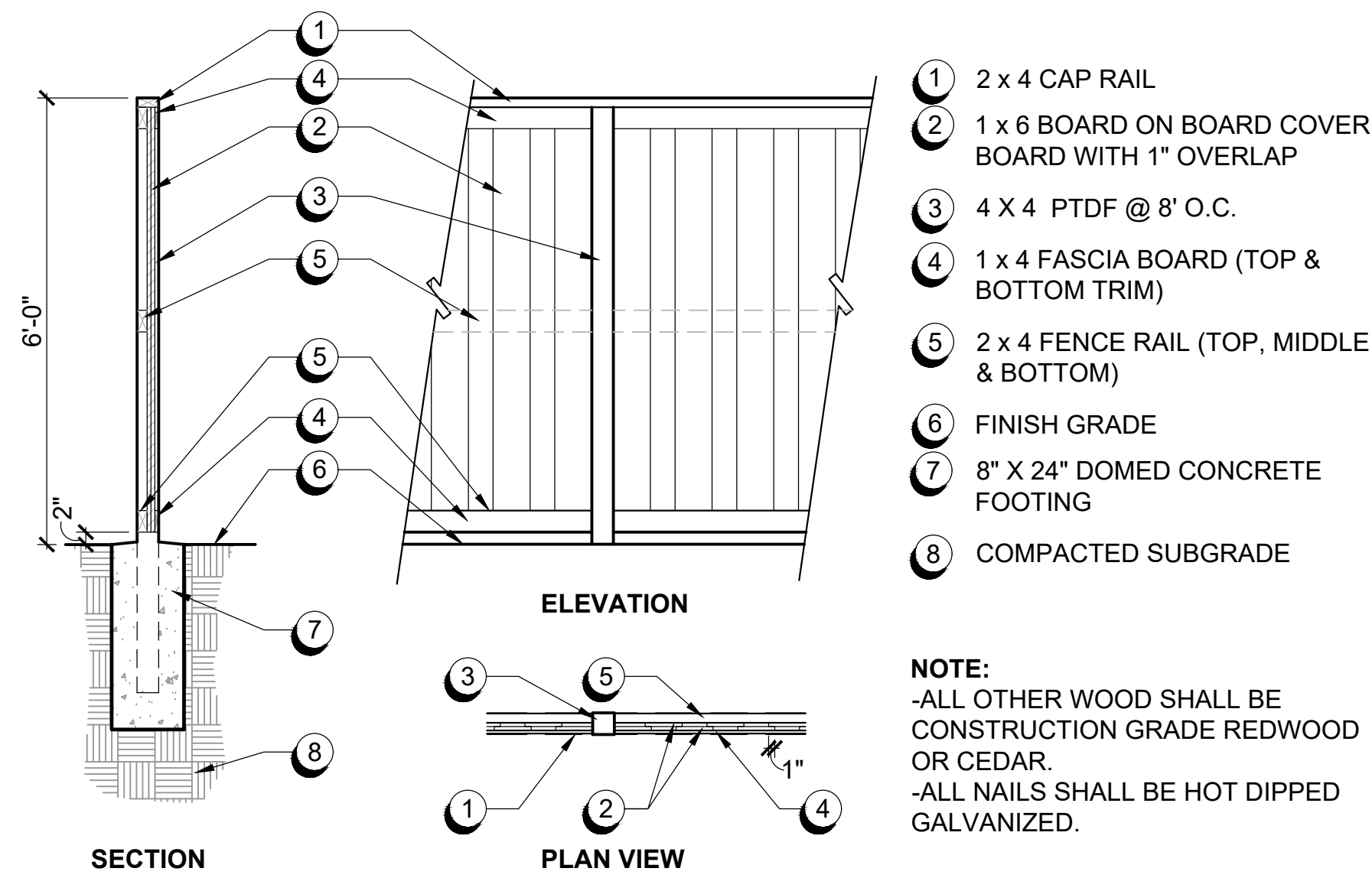
PRELIMINARY STORMWATER CONTROL PLAN
DESIGN REVIEW
 SHEPHERD'S GATE

CITY OF BRENTWOOD CONTRA COSTA COUNTY CALIFORNIA
 SCALE: 1" = 10' DATE: JUNE 7, 2023



SAN RAMON • (925) 866-0322
 ROSEVILLE • (916) 788-4456
 WWW.CBANDG.COM
 CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
7
 OF 7 SHEETS



NOTE:
 -ALL OTHER WOOD SHALL BE CONSTRUCTION GRADE REDWOOD OR CEDAR.
 -ALL NAILS SHALL BE HOT DIPPED GALVANIZED.

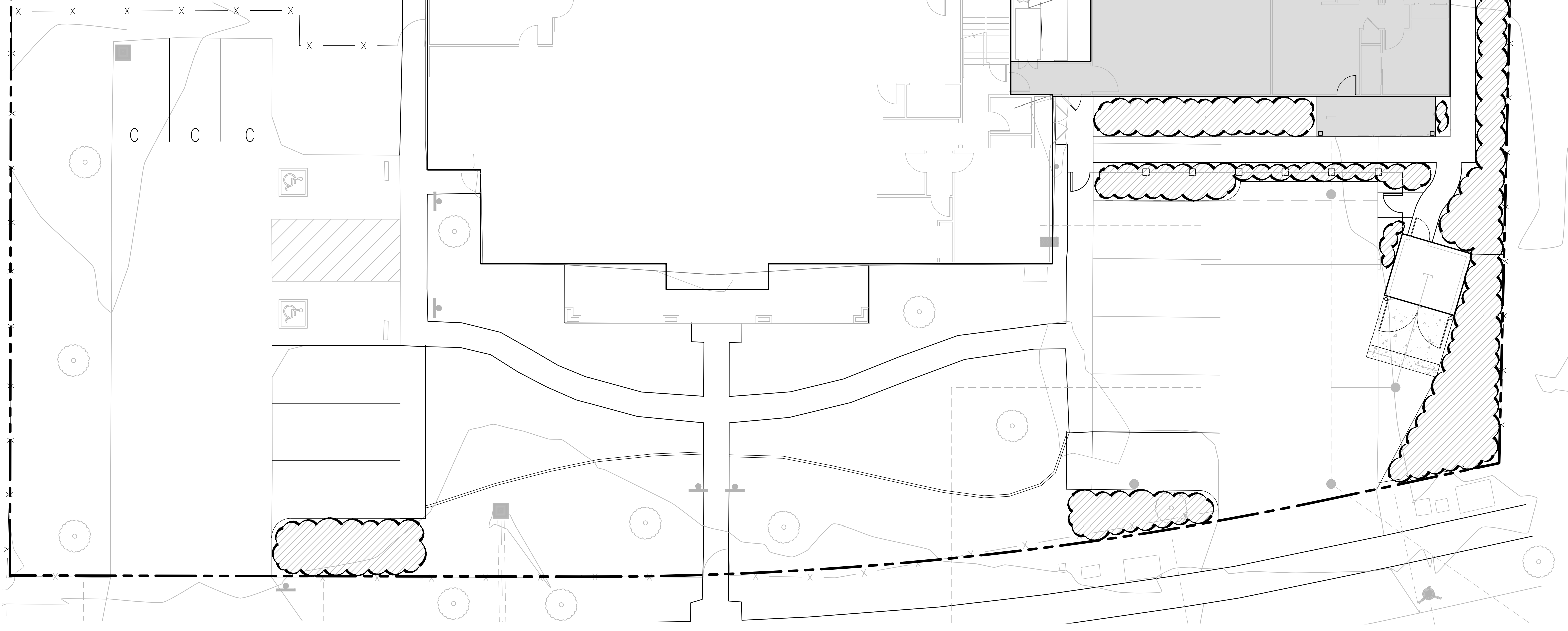
A GOOD NEIGHBOR WOOD FENCE
 SCALE: 1/2" = 1'-0"

- PLANTING NOTES**
1. THE PLANTING DESIGN FOR THE SITE IS DROUGHT TOLERANT AND CONSISTS OF A BALANCE OF EVERGREEN AND DECIDUOUS PLANTING AS WELL AS NATIVE AND ORNAMENTAL PLANTING.
 2. PROPOSED TREE LOCATIONS ARE BASED ON STANDARD JOINT TRENCH LOCATIONS. FINAL TREE LOCATIONS TO BE DETERMINED WHEN FINAL UTILITY LOCATIONS ARE PROVIDED. TREE PLACEMENT MAY BE ADJUSTED AND FINAL TREE COUNT MAY CHANGE.
 3. ALL SHRUBS AND GROUND COVER MATERIAL SELECTED HAVE A WUCOLS WATER USE RATING OF VERY LOW TO MODERATE.
 4. PROPOSED TREE CANOPIES ARE SHOWN AT 85% MATURE GROWTH DIAMETER IN ORDER TO ENSURE THERE IS SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.

- IRRIGATION NOTES**
1. THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).
 2. THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET/SMART IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.
 3. THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, AND POINT SOURCE DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS.
 4. PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPOTRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHTTIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.
 5. ALL MWELO DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.

NOTES:

1. TREE LAYOUT IS SCHEMATIC. FINAL TREE LOCATIONS AND SPECIES SUBJECT TO CITY REVIEW, UTILITY AND STREET LIGHT PLACEMENT.



PROPOSED TREE LEGEND

TREES	BOTANICAL NAME	COMMON NAME	MIN. SIZE	WUCOLS	QTY.
	PRUNUS CERSIFERA	PURPLE-LEAF PLUM	15 GAL	LOW	1
	EXISTING TREE, PROTECT IN PLACE				

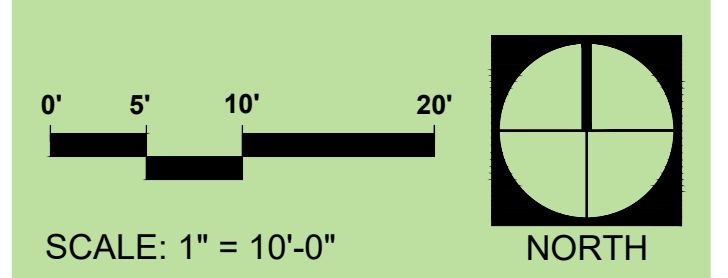
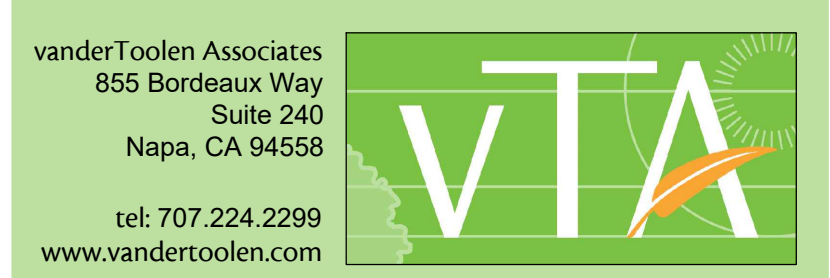
PROPOSED SHRUB LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	MIN. SIZE	WUCOLS
	ABELIA GRANDIFLORA VARIETIES	ABELIA	5 GAL	LOW
	CALLISTEMON VARIETIES	BOTTLEBRUSH	5 GAL	LOW
	BOUTELOUA GRACILIS VARIETIES	BLUE GRAMA GRASS	1 GAL	LOW
	DIETES VEGETA 'VARIEGATA'	VARIEGATED AFRICAN IRIS	5 GAL	LOW
	FESTUCA SPECIES	FESCUE	1 GAL	LOW
	MYOPORUM PARVIFOLIUM	MYOPORUM	1 GAL	LOW
	NANDINA DOMESTICA VARIETIES	HEAVENLY BAMBOO	5 GAL	LOW
	WESTRINGIA SPECIES	COAST ROSEMARY	5 GAL	LOW



SHEPHERD'S GATE
 Brentwood, California

CONCEPTUAL LANDSCAPE PLAN
 JUNE 2023



L-1
 Project No. 04922