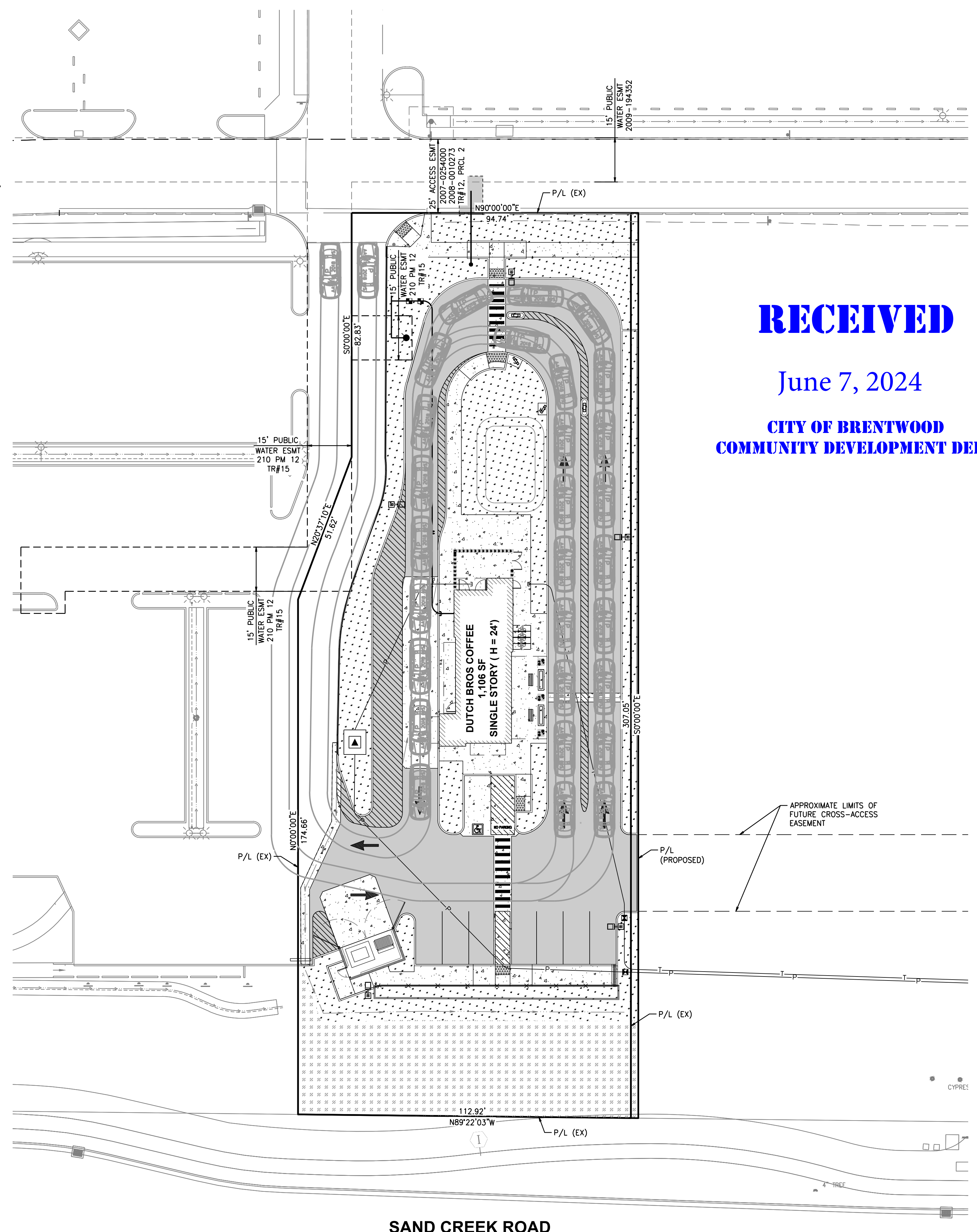
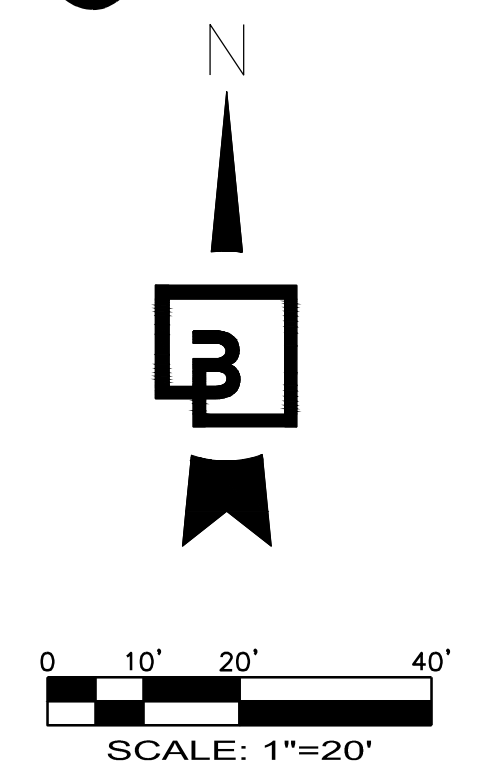


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# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA COVER SHEET



**RECEIVED**

June 7, 2024

**CITY OF BRENTWOOD  
COMMUNITY DEVELOPMENT DEPT**

**OWNER**  
CONTACT: COURTNEY & BRIAN SHAFFER  
TEL: (541) 941-6127  
EMAIL: COURTNEY@DUTCHBROS.COM

**ENGINEER**  
BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. SOUTH  
KENT, WA 98032  
TEL: (425) 251-6222  
CONTACT: HAL P. GRUBB, P.E.  
EMAIL: HGRUBB@BARGHAUSEN.COM  
WEBSITE: [HTTPS://WWW.BARGHAUSEN.COM](https://www.barghausen.com)

**GEOTECHNICAL**  
KRAZAN & ASSOCIATES, INC.  
GEOTECHNICAL ENGINEERING DIVISION  
1100 OLYMPIC DRIVE, STE 103  
CORNOIA, CA 92881  
TEL: (951) 273-1011  
CONTACT: JORGE A. Pelayo, P.E.  
WEBSITE: [HTTPS://WWW.KRAZAN.COM/SITE](https://www.krazan.com/site)

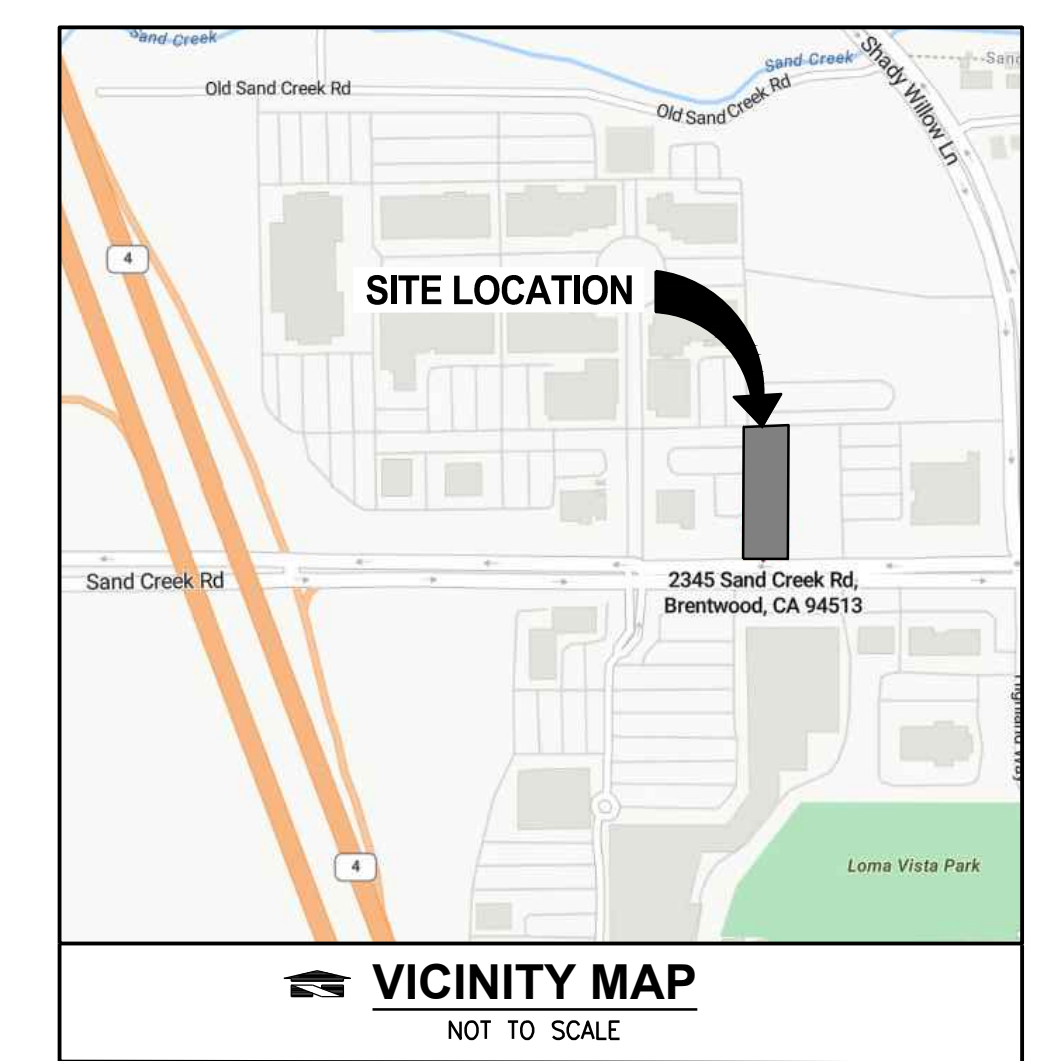
**LANDSCAPE ARCHITECT**  
BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. SOUTH  
KENT, WA 98032  
TEL: (425) 251-6222  
CONTACT: JEFF VARLEY, PLA  
EMAIL: JVARLEY@BARGHAUSEN.COM  
WEBSITE: [HTTPS://WWW.BARGHAUSEN.COM](https://www.barghausen.com)

**DEVELOPER**  
DUTCH BROS COFFEE  
110 SW 4TH STREET  
GRANTS PASS, OR 97526  
CONTACT: DAN JULIEN  
TEL: (916) 765-7270  
EMAIL: DANIEL.JULIEN@DUTCHBROS.COM  
WEBSITE: [HTTPS://WWW.DUTCHBROS.COM](https://www.dutchbros.com)

**BUILDING ARCHITECT**  
GNICH ARCHITECTURE STUDIO  
1001 SE SANDY BOULEVARD, SUITE 100  
PORTLAND, OR 97214  
TEL: (503) 552-9079  
CONTACT: DUSTIN HEMION

**SURVEYOR**  
DK ENGINEERING  
1331 SAN MIGUEL DRIVE, SUITE 100  
WALNUT CREEK, CA 94596  
TEL: (925) 932-6868  
CONTACT: DANIEL DRUMMOND, LS  
WEBSITE: [WWW.DKENGIN.COM](http://www.dkengin.com)

PRELIMINARY SHEET INDEX	
Sheet Number	Sheet Title
1	COVER SHEET
2	CONTEXTUAL PLAN
3	PRELIMINARY SITE PLAN
4	CIRCULATION PLAN
5	PRELIMINARY GRADING AND DRAINAGE PLAN
6	GRADING SECTIONS



**PROJECT SCOPE**

THE PROJECT PROPOSES TO DEVELOP A 0.75-ACRE PARCEL FOR CONSTRUCTION OF A NEW 950-SQUARE-FOOT DUTCH BROS COFFEE WITH DOUBLE DRIVE-THROUGH LANES TO ACCOMMODATE UP TO 27 VEHICLES IN THE QUEUE. A SEPARATE COVERED SERVICE WINDOW WILL BE OFFERED FOR WALK-UP CUSTOMERS ON THE EASTERN SIDE OF THE BUILDING OPPOSITE THE DRIVE-THROUGH SERVICE WINDOW. SURFACE PARKING FOR 8 VEHICLES IS PROVIDED, ALONG WITH BIKE RACKS FOR BICYCLE PARKING.

THE PROPERTY IS CURRENTLY ZONED PD-6 SAND CREEK DEVELOPMENT PLAN AND IS WITHIN AN EXISTING UNDEVELOPED AREA. THE DRIVE-THROUGH USE IS A CONDITIONALLY PERMITTED USE WITHIN THE REGIONAL COMMERCIAL AREA OF THE PLANNED DEVELOPMENT.

**PROJECT DATA**

NAME: DUTCH BROS COFFEE - CA2606  
ADDRESS: 2345 SAND CREEK RD, BRENTWOOD, CA

APN = 019910010  
ZONE = PD-6  
PROJECT PARCEL AREA (EX) = 32,656 SF (0.75 ACRES)  
GROSS PARCEL AREA = 81,457 SF (1.87 ACRES)

PROPOSED PROJECT PARCEL AREA = 33,423 SF (0.76 ACRES)

BUILDING SETBACKS:  
SIDE SETBACK: 10'  
REAR SETBACK: 25'

STANDARD VEHICLE PARKING SPACES REQUIRED = 5  
STANDARD SPACES PROVIDED = 7  
ACCESSIBLE VEHICLE PARKING SPACES REQUIRED = 1  
ACCESSIBLE SPACES PROVIDED = 1  
TOTAL VEHICLE PARKING SPACES = 8

BICYCLE PARKING SPACES REQUIRED = 4

VEHICLE QUEUING = 27

TRASH ENCLOSURE = 11'-4" X 20'

**GROUND COVER SUMMARY (ON-SITE):**

BUILDING (INCLUDES TRASH ENCLOSURE):	1,332 SF	(4.0%)
PARKING AND MANEUVERING:	13,729 SF	(41.1%)
WALKWAYS:	3,392 SF	(10.1%)
LANDSCAPE:	8,175 SF	(24.5%)
EXISTING LANDSCAPE TO REMAIN:	3,822 SF	(11.4%)
EXISTING IMPERVIOUS TO REMAIN:	2,973 SF	(8.9%)
<b>TOTAL</b>	<b>33,423 SF</b>	<b>(100.0%)</b>

**GROUND COVER SUMMARY (OFF-SITE):**

PAVEMENT:	17 SF	(100.0%)
<b>TOTAL</b>	<b>17 SF</b>	<b>(100.0%)</b>

**LEGEND**

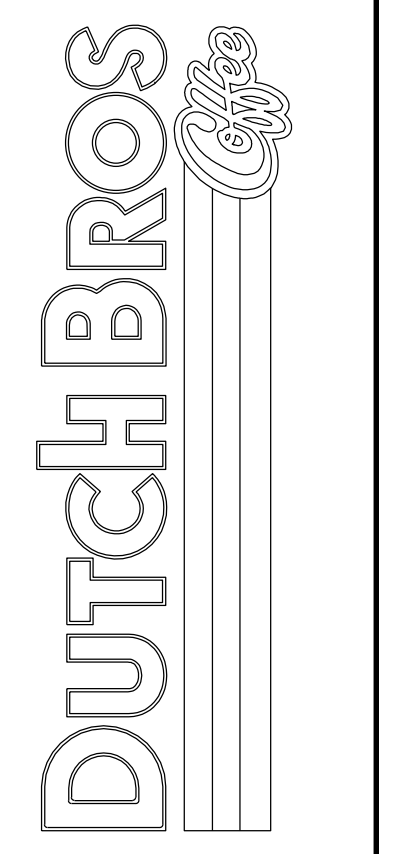
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
EXISTING LANDSCAPING	

SAND CREEK ROAD

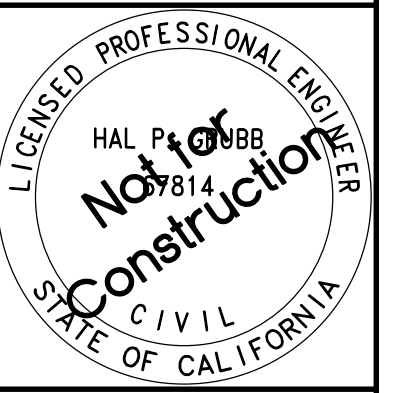
**PRELIMINARY NOT FOR CONSTRUCTION**

**COVER SHEET  
2345 SAND CREEK RD  
BRENTWOOD, CA**

Title:



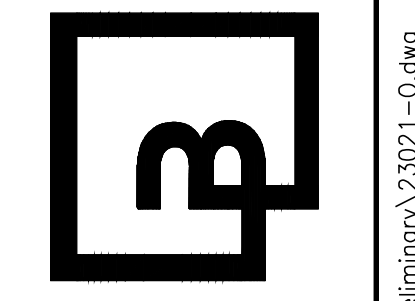
For:



Scale: Horizontal 1" = 20', Vertical N/A

Designed: H.P.G.  
Drawn: H.P.G.  
Checked: H.P.G.  
Approved: H.P.G.  
Date: 04/26/24

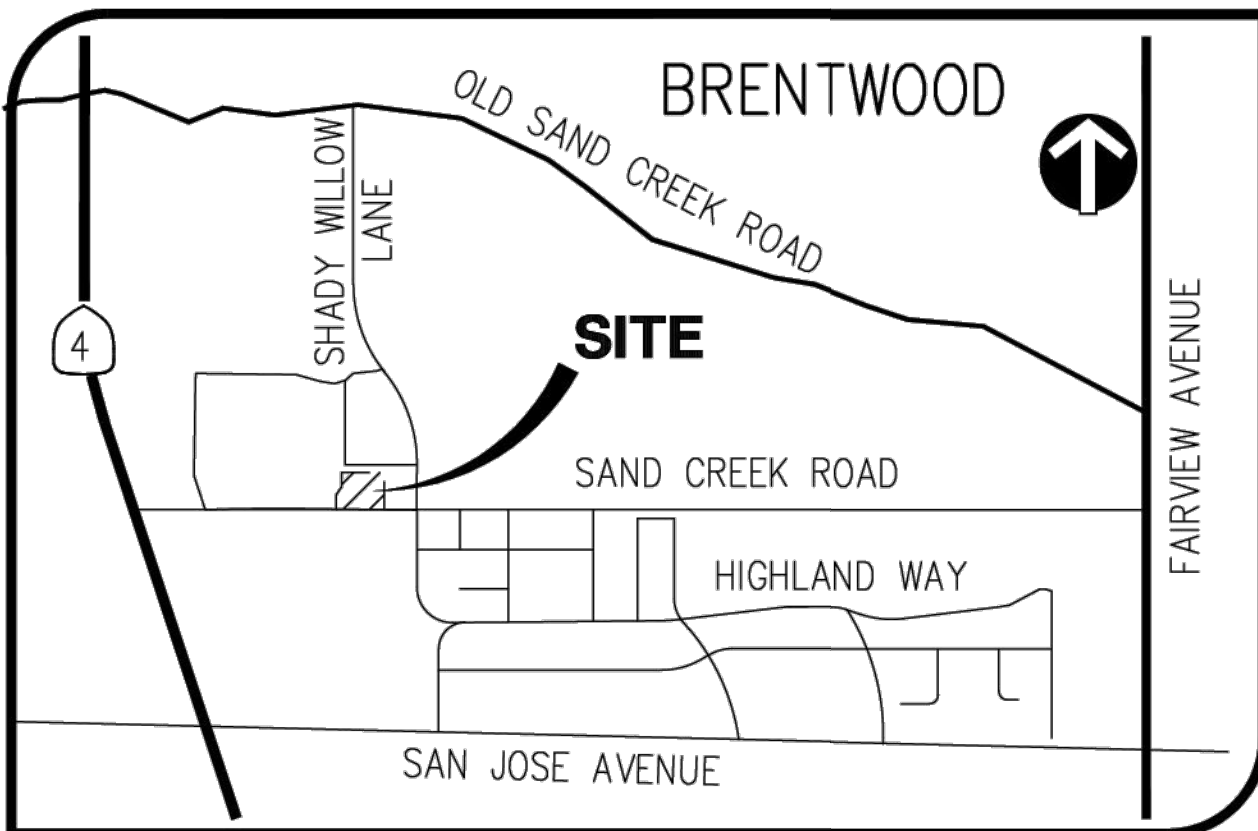
**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)



Job Number: 23021  
Sheet: 1  
2019 DB  
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VICINITY MAP  
NOT TO SCALE

**LEGAL DESCRIPTION**

The Land referred to herein below is situated in the City of Brentwood, County of Contra Costa, State of California, and is described as follows:

**PARCEL ONE:**  
ALL THAT REAL PROPERTY, SITUATE, LYING AND BEING IN THE CITY OF BRENTWOOD, COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA.  
BEING A PORTION PARCEL B OF "PARCEL MAP MS 352-13" FILED NOVEMBER 10TH, 2015, IN BOOK 210 OF PARCEL MAPS AT PAGE 12 IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWESTERLY CORNER OF SAID PARCEL B; THENCE LEAVING SAID POINT OF BEGINNING ALONG THE NORTHERLY LINE OF SAID PARCEL B NORTH 90° 00' 00" EAST 94.74 FEET; THENCE LEAVING THE NORTHERLY LINE OF SAID PARCEL B SOUTH 0° 00' 00" EAST 307.05 FEET TO THE SOUTHERLY LINE OF SAID PARCEL B; THENCE ALONG SAID SOUTHERLY LINE NORTH 89° 22' 03" WEST 112.92 FEET TO THE WESTERLY LINE OF SAID PARCEL B; THENCE ALONG SAID WESTERLY LINES NORTH 0° 00' 00" EAST 174.66 FEET; THENCE NORTH 20° 37' 10" EAST 51.62 FEET; THENCE NORTH 0° 00' 00" WEST 82.83 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.75 ACRES MORE OR LESS.

**PARCEL TWO:**  
NON-EXCLUSIVE EASEMENTS APPURTENANT TO PARCEL ONE ABOVE FOR UTILITY FACILITIES, INGRESS AND EGRESS TO AND FROM ACCESS ROAD, MORE PARTICULARLY DESCRIBED IN THAT CERTAIN "DECLARATION OF RESTRICTIONS AND EASEMENTS REGARDING OUT LOTS" RECORDED SEPTEMBER 7, 2007 AS INSTRUMENT NO. 007-0254000-00 OF OFFICIAL RECORDS, AND AS AMENDED BY DOCUMENTS RECORDED JANUARY 17, 2008 AS INSTRUMENT NO. 2008-0010273-00, DECEMBER 26, 2012 AS INSTRUMENT NO. 2012-0329024-00 AND MARCH 18, 2012 AS INSTRUMENT NO. 20130067364-00 ALL OF OFFICIAL RECORDS.  
For conveyance purposes only: APN Part of APN 019-910-010-8

**LOCATION**

- ADDRESS: BRENTWOOD CALIFORNIA
- SITE APNs: PORTION OF 019-910-010
- NEAREST INTERSECTION: SAND CREEK ROAD & SHADY WILLOW LN

**BASIS OF BEARINGS**

TAKEN AS N 03°26'35" W AS SHOWN ON THE MAP OF SUBD. 8421 RECORDED JUNE 27, 2003, IN BOOK 455 M 1 BETWEEN TWO STANDARD CITY STREET MONUMENTS IN LAS FLORES DRIVE.

**BENCHMARK**

CONTRA COSTA COUNTY BENCH MARK # 3225 BRASS TAG IN CONCRETE CHECK DAM 36' NORTH OF CENTERLINE SANDCREEK RD. 0.4 MILES WEST ALONG SANDCREEK RD. FROM INTERSECTION OF FAIRVIEW AVE. ELEV. = 108.47'

**LEGEND**

	BOUNDARY LINE
	RIGHT OF WAY LINE
	EXISTING PARCEL LINE
	EXISTING EASEMENT LINE
	MAJOR CONTOUR 5'
	MINOR CONTOUR 1'
	SIDEWALK/CURB LINE
	STORM DRAIN LINE, CB, FI
	SANITARY SEWER LINE, MANHOLE
	WATER LINE, METER, VALVE
	GAS LINE
	SPOT GRADE AT TC OR FL

**ABBREVIATIONS**

AD	AREA DRAIN
CB	CATCH BASIN
EX	EXISTING
FI	FIELD INLET
INV	INVERT
LP	LOW POINT
PL	PROPERTY LINE
(R)	RECORD INFORMATION
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB

**FLOOD INFORMATION**

SAID DESCRIBED PROPERTY IS LOCATED WITHIN "AREA OF MINIMAL FLOOD HAZARD", ZONE DESIGNATION "X". ON FLOOD INSURANCE RATE MAP NO. 06013C0353F, WITH A DATE OF EFFECTIVE DATE JUNE 16, 2009.

**SURVEYOR'S CERTIFICATION:**

TO DG KERN RIDGE, LLC, AERA BELRIDGE, BB HOLDINGS CA, LLC, AN OREGON LIMITED LIABILITY COMPANY, DB FRANCHISING USA, LLC, AN OREGON LIMITED LIABILITY COMPANY, DUTCH BROS., LLC, AN OREGON LIMITED LIABILITY COMPANY, DUTCH MAFIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BOERSMA BROS. LLC, AN OREGON LIMITED LIABILITY COMPANY, DUTCH BROS INC., A DELAWARE CORPORATION, AND TO STEWART TITLE GUARANTY COMPANY, ITS SUCCESSORS AND ASSIGNS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED NOVEMBER 10, 2023.

DATE OF PLAT OR MAP: NOVEMBER 17, 2023

SIGNED: DANIEL DRUMMOND, LS 6333



**TITLE REPORT**

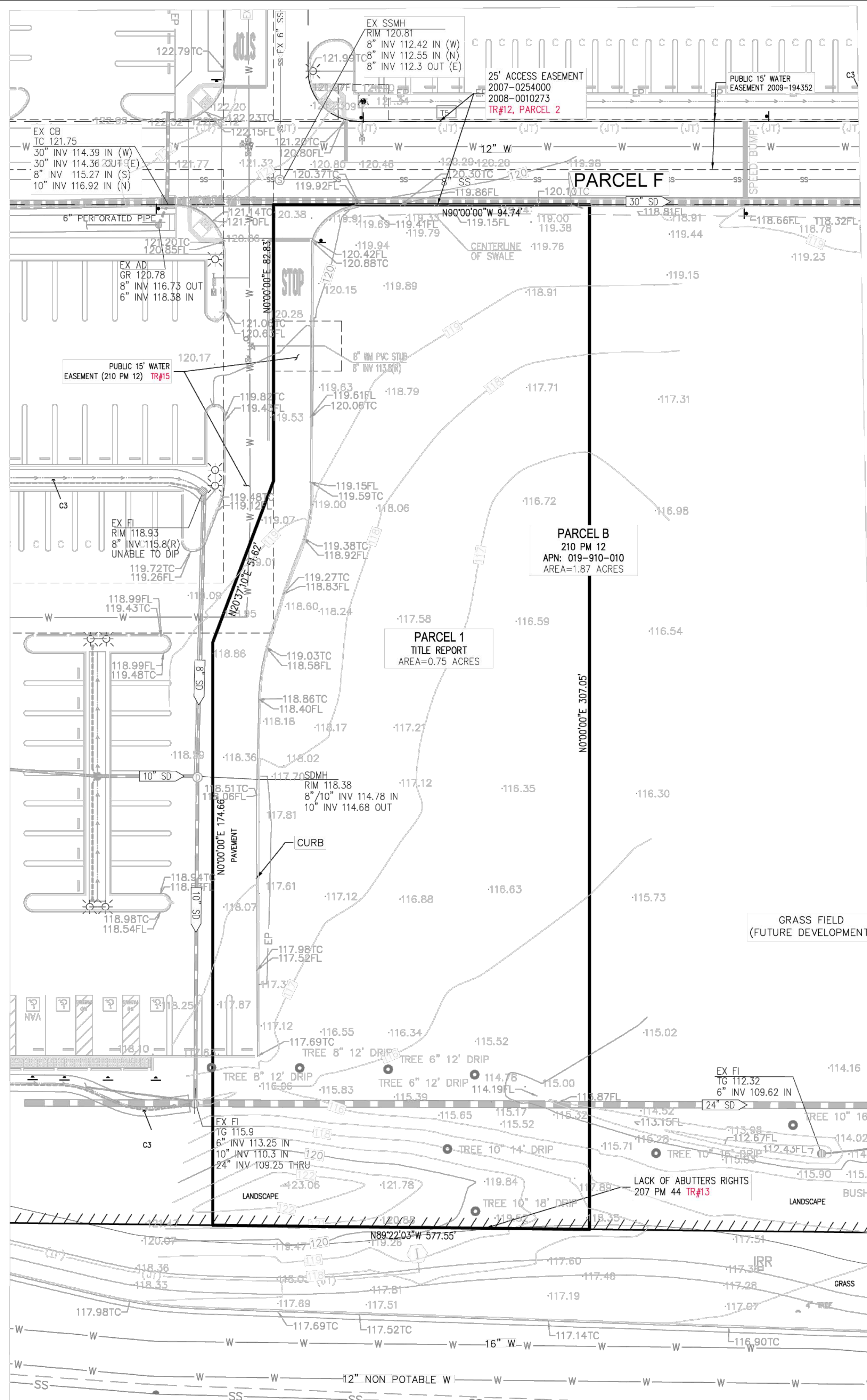
TITLE INSURANCE COMPANY: FIRST AMERICAN  
FILE NO.: NCS-1180539X1-MPLS  
COMMITMENT DATE: JUNE 16, 2023

**TOPOGRAPHIC SURVEY**

• TOPOGRAPHIC FEATURES SHOWN HEREON HAVE BEEN SURVEYED  
• PROJECT AREA = 0.75± ACRES

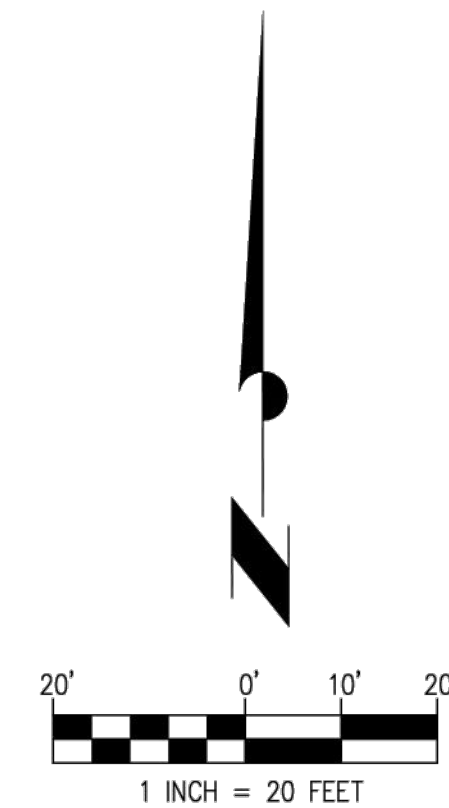
**NOTES**

1. SHOWN UNDERGROUND UTILITIES HAVE BEEN LOCATED VIA USA MARKINGS AND SUPPLEMENTED WITH RECORD INFORMATION.
2. THERE ARE NO SIGN OF ANY RECENT EARTHWORK, BUILDING CONSTRUCTION ON ALTA SITE



**EXCEPTIONS**

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I--Requirements are met.
2. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
3. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
4. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
5. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
7. General and special taxes and assessments for the fiscal year 2023-2024, a lien not yet due or payable.
8. Assessment liens, if applicable, collected with the general and special taxes, including but not limited to those disclosed by the reflection of the following on the tax roll: 1915 Bond for County of Contra Costa-Brentwood
9. The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.
10. An easement for canals and other water conduits, power, telephone or telegraph lines, water pipe lines, sewers "or other easement necessary or convenient for the purpose of" East Contra Costa Irrigation Company and incidental purposes, recorded September 25, 1917 in Book 297 of Deeds, Page 257.  
In Favor of: East Contra Costa Irrigation Company  
Affects: as described therein  
The location of the easement cannot be determined from record information.
11. An easement for open ditch and/or pipe line and incidental purposes, recorded May 19, 1933 as Book 324, Page 351 of Official Records.  
In Favor of: John Carlisle, Et Ux  
Affects: as described therein  
The location of the easement cannot be determined from record information.
12. The terms, provisions and easement(s) contained in the document entitled "Declaration of Restrictions and Easements Regarding Outlets" recorded September 07, 2007 as Instrument No. 2007-0254000-00 of Official Records.  
Document(s) declaring modifications thereof recorded January 17, 2008 as Instrument No. 20080010273-00 of Official Records.  
Which modification includes among other matters, a sign easement located on other property.  
Document(s) declaring modifications thereof recorded December 26, 2012 as Instrument No.00120329024-00 of Official Records.  
Document(s) declaring modifications thereof recorded March 18, 2013 as Instrument No. 20130067364-00 of Official Records.  
Document(s) declaring modifications thereof recorded June 29, 2018 as Instrument No. 20180103919-00 of Official Records.  
Assignment and Assumption of Rights and Obligations under declaration dated June 28, 2018, by and between C&I VII Brentwood Operating LP, a Delaware limited partnership and FHB Retail Property LLC, a Delaware limited liability company and FHB Land Property LLC, a Delaware limited liability company recorded June 28, 2018 as Instrument No. 2018-0103923-00 of Official Records.  
Document(s) declaring modifications thereof recorded August 09, 2022 as Instrument No. 20220124000 of Official Records. **AS SHOWN HEREON**
13. Abutter's rights of ingress and egress to or from San Creek Road, except at designated openings, have been dedicated or relinquished on the map of Parcel Map MS 353-09 on file in Book 207, Page Page 44 through 50, of Parcel Maps. **AS SHOWN HEREON**
14. The terms and provisions contained in the document entitled "Declaration of Restrictive Covenants" recorded March 18, 2013 as Instrument No. 2013-0067365-00 of Official Records.
15. An easement shown or dedicated on the map of Parcel Map MS 352-13 recorded November 10, 2015 and on file in Book 210, Page(s) 12-15, of Parcel Maps. For: Public Water, Access and incidental purposes. **AS SHOWN HEREON**
16. The terms and provisions contained in the document entitled "Amended and Restated Declaration by Owner Access Easement" recorded June 29, 2018 as Instrument No. 2018-0103922-00 of Official Records. **OFF SITE**
17. We find no outstanding voluntary liens of record affecting subject property. An inquiry should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any security interest in the subject property.
18. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act, 1930 (7 U.S.C. §§499a, et seq.) or the Packers and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.  
Consideration for the deletion of this exception is highly fact intensive. Please contact the underwriter assigned to your file as soon as possible to discuss.
19. Water rights, claims or title to water, whether or not shown by the Public Records.
20. Any facts, rights, interests or claims which would be disclosed by a correct ALTA/NSPS survey.
21. Rights of parties in possession.



**PRELIMINARY**  
FAIRBOURNE PROPERTIES  
**STREETS OF BRENTWOOD**  
BRENTWOOD, CALIFORNIA  
A.L.T.A. SURVEY  
NOVEMBER 20, 2023



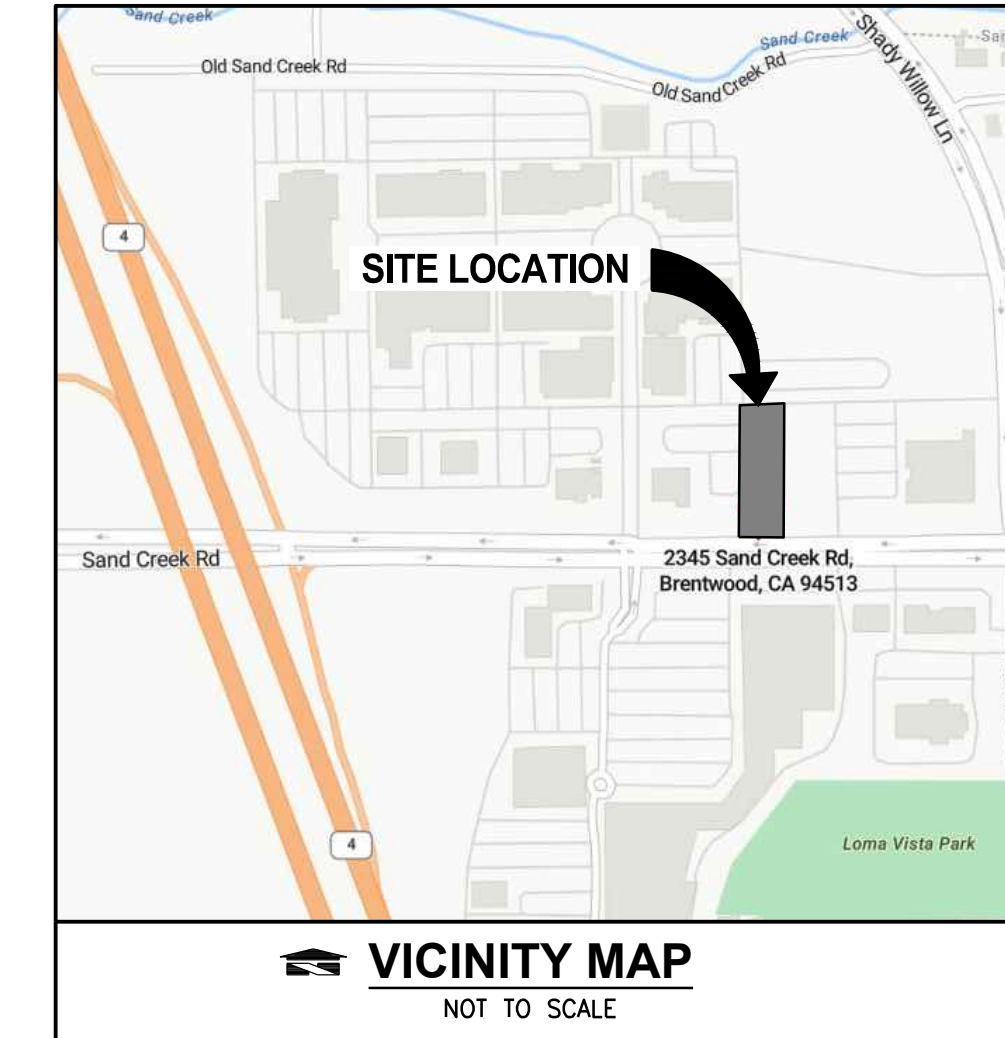
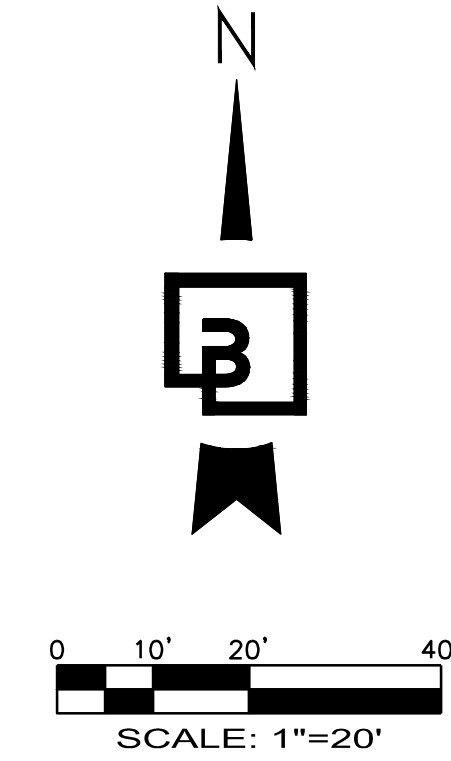
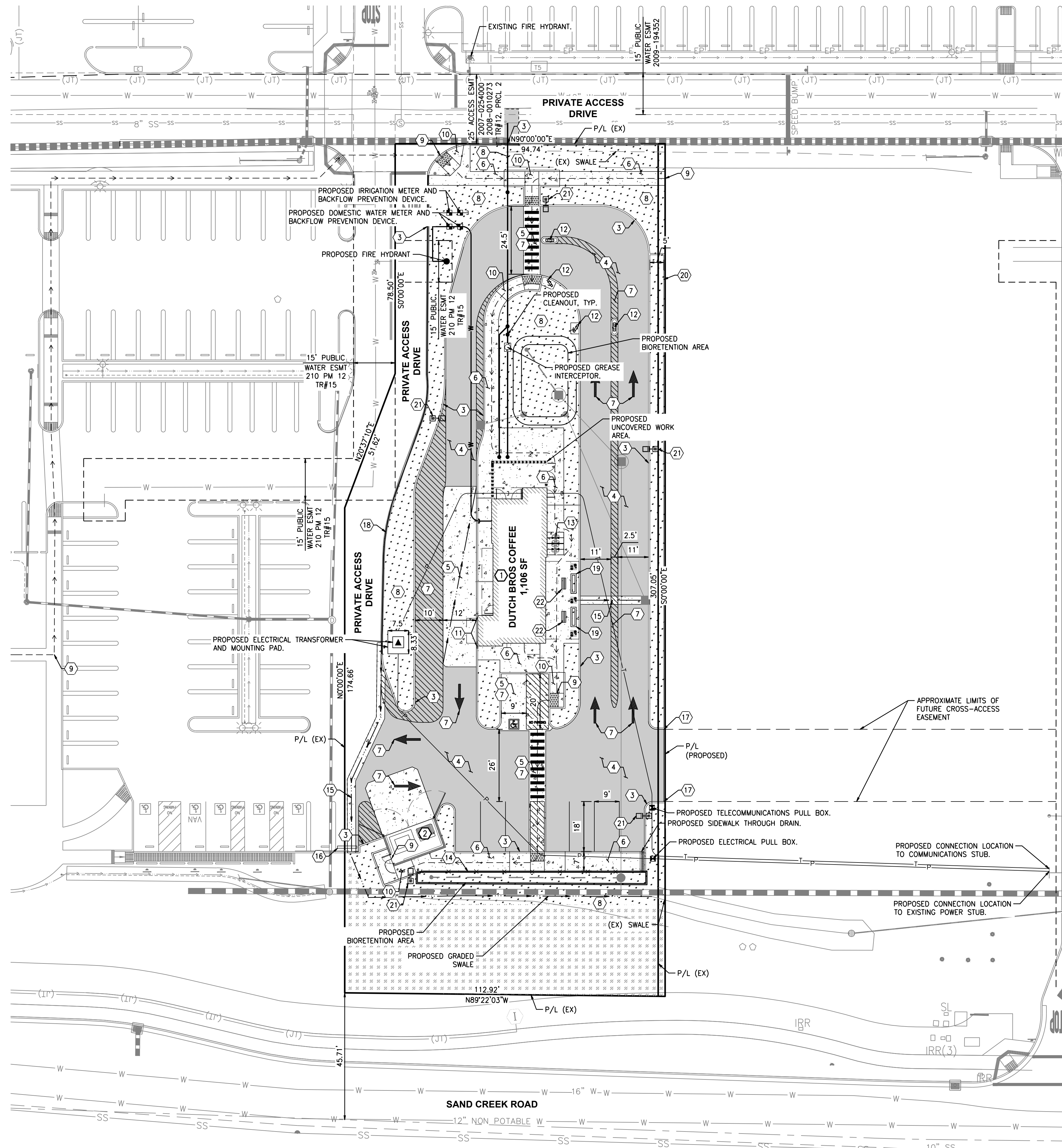
1801 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596  
WWW.PRENGINEERING.COM (925) 932-8866





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# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA PRELIMINARY SITE PLAN



### PROJECT DATA

NAME: DUTCH BROS COFFEE - BRENTWOOD, CA  
ADDRESS: 2345 SAND CREEK RD  
BRENTWOOD, CA

PROPOSED PROJECT PARCEL AREA = 33,423 SF (0.76 ACRES)

STANDARD VEHICLE PARKING SPACES REQUIRED = 5  
STANDARD SPACES PROVIDED = 7  
ACCESSIBLE VEHICLE PARKING SPACES REQUIRED = 1  
ACCESSIBLE SPACES PROVIDED = 1  
TOTAL VEHICLE PARKING SPACES = 8

BICYCLE PARKING SPACES REQUIRED = 4  
SPACES PROVIDED = 4

VEHICLE QUEUING = 27  
TRASH ENCLOSURE = 12' x 24'

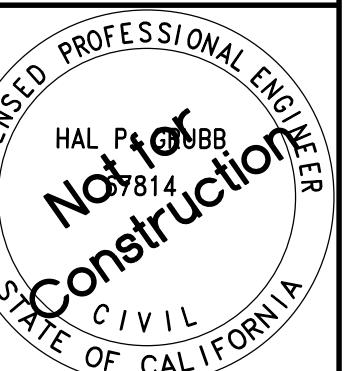
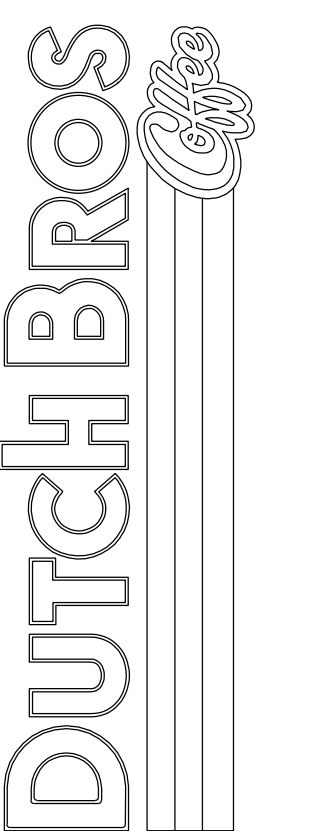
### CONSTRUCTION NOTES:

- PROPOSED 950 SF DUTCH BROS COFFEE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE AND PAVEMENT SECTION DETAILS.
- PROPOSED CONCRETE BARRIER CURB, TYPICAL.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED CONCRETE PAVEMENT.
- PROPOSED ON-SITE CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
- PROPOSED PAVEMENT MARKING.
- PROPOSED LANDSCAPE AREA, TYPICAL.
- ACCESSIBLE PATH, TYPICAL.
- PROPOSED ADA ACCESSIBLE RAMP.
- PROPOSED BOLLARD.
- PROPOSED SIGNAGE.
- PROPOSED BICYCLE PARKING.
- PROPOSED SAFETY FENCE.
- PROPOSED CONCRETE SWALE.
- PROPOSED WHEEL STOP.
- PROPOSED TEMPORARY BARRIER CURB BETWEEN KEYNOTES.
- PROPOSED FIRE LANE SHALL BE PAINTED RED WITH "NO PARKING - FIRE LANE" STENCILED EVERY 25 FEET ON FACE OF CURB.
- PROPOSED 7"x2" RAISED PLANTER. REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.
- PROPOSED PLANTER. REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.
- PROPOSED SITE LIGHT. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- PROPOSED SITE BENCHES. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

### LEGEND

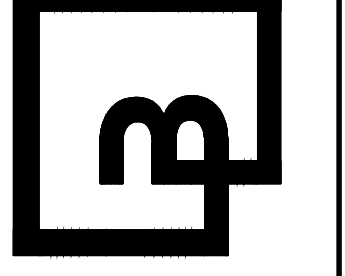
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
EXISTING LANDSCAPING	
ACCESSIBLE ROUTE	

PRELIMINARY SITE PLAN  
2345 SAND CREEK RD  
BRENTWOOD, CA



Scale: Horizontal 1" = 20', Vertical N/A  
Designed: RAG, Drawn: PAL, Checked: AEM, Approved: HFS, Date: 04/26/24

Barghausen Consulting Engineers, Inc.  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com



Job Number: 23021  
Sheet: 3  
2019 DB  
Franchising USA, LLC

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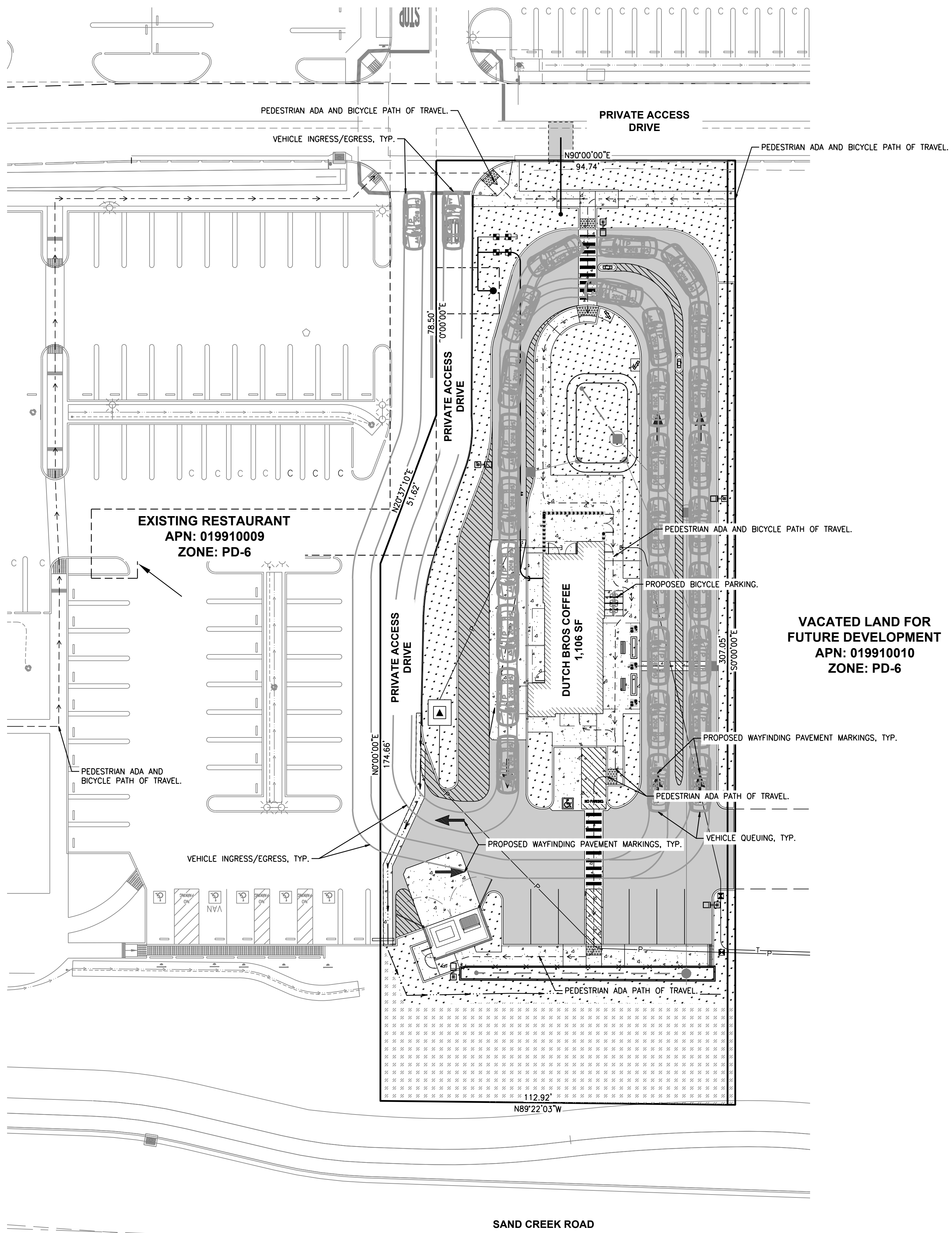
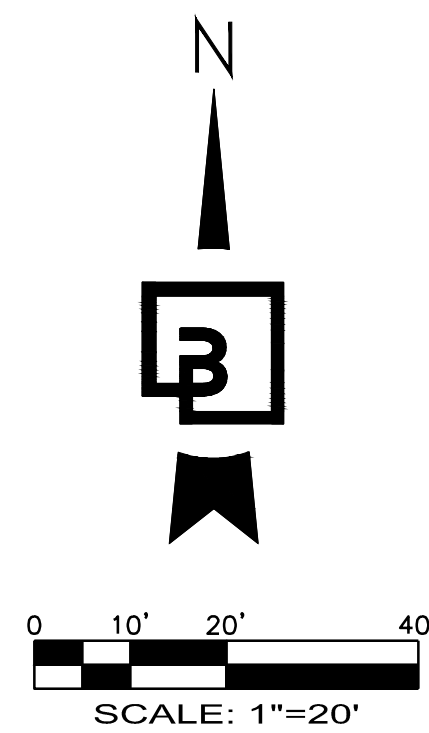
PRELIMINARY NOT FOR CONSTRUCTION





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# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA CIRCULATION PLAN



### PROJECT DATA

NAME: DUTCH BROS COFFEE - BRENTWOOD, CA  
 ADDRESS: 2345 SAND CREEK RD  
 BRENTWOOD, CA

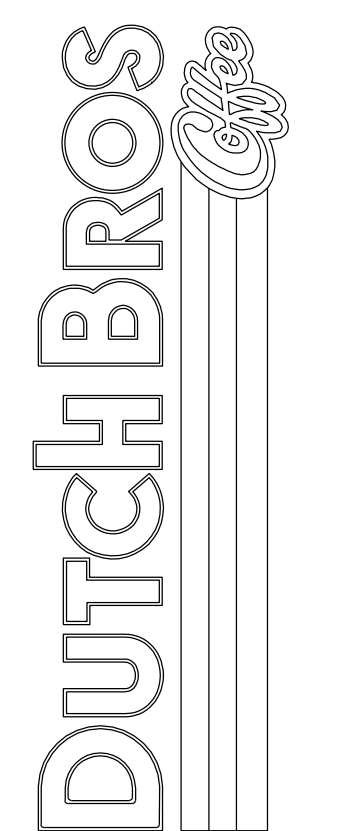
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 TOTAL VEHICLE PARKING SPACES = 8

BICYCLE PARKING SPACES REQUIRED = 4  
 SPACES PROVIDED = 4

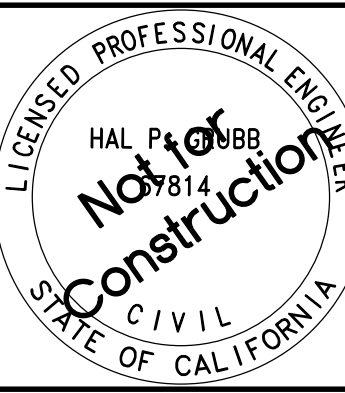
VEHICLE QUEUING = 27

**CIRCULATION PLAN**  
 2345 SAND CREEK RD  
 BRENTWOOD, CA

Title:



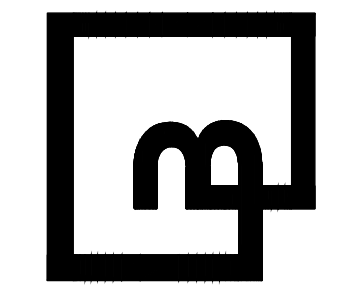
For:



Scale:  
 Horizontal: 1" = 20'  
 Vertical: N/A

Designed	RAG
Drawn	PAL
Checked	AEM
Approved	HPS
Date	04/26/24

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)



Job Number: **23021**  
 Sheet: **4**  
 2019 DB Franchising USA, LLC

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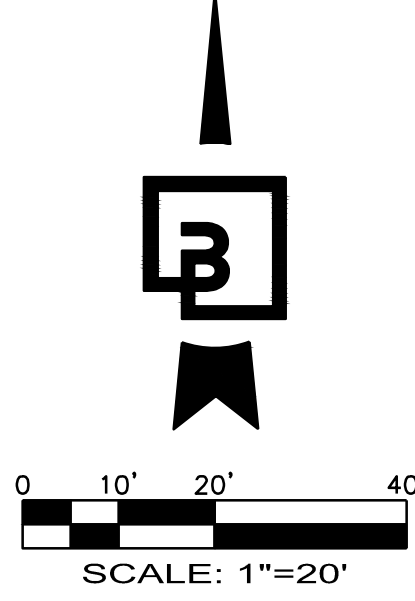
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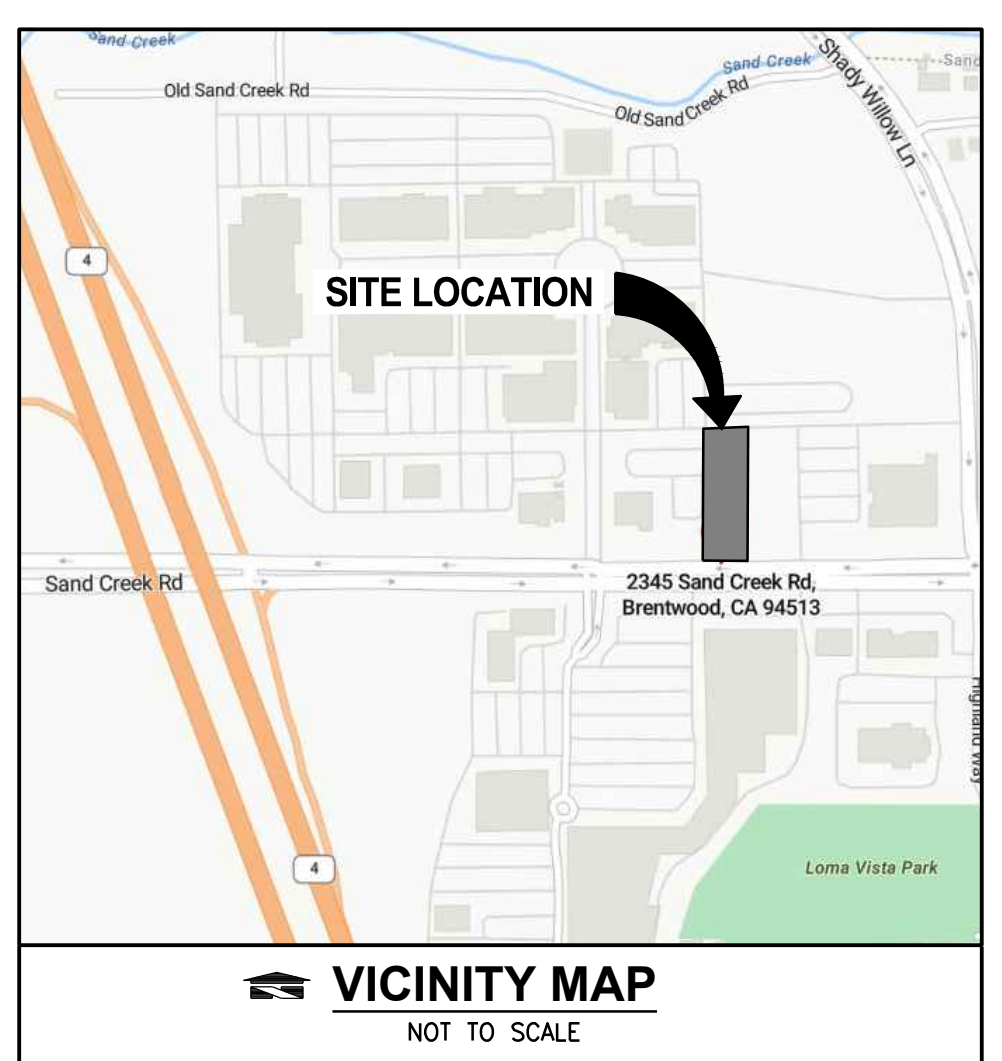
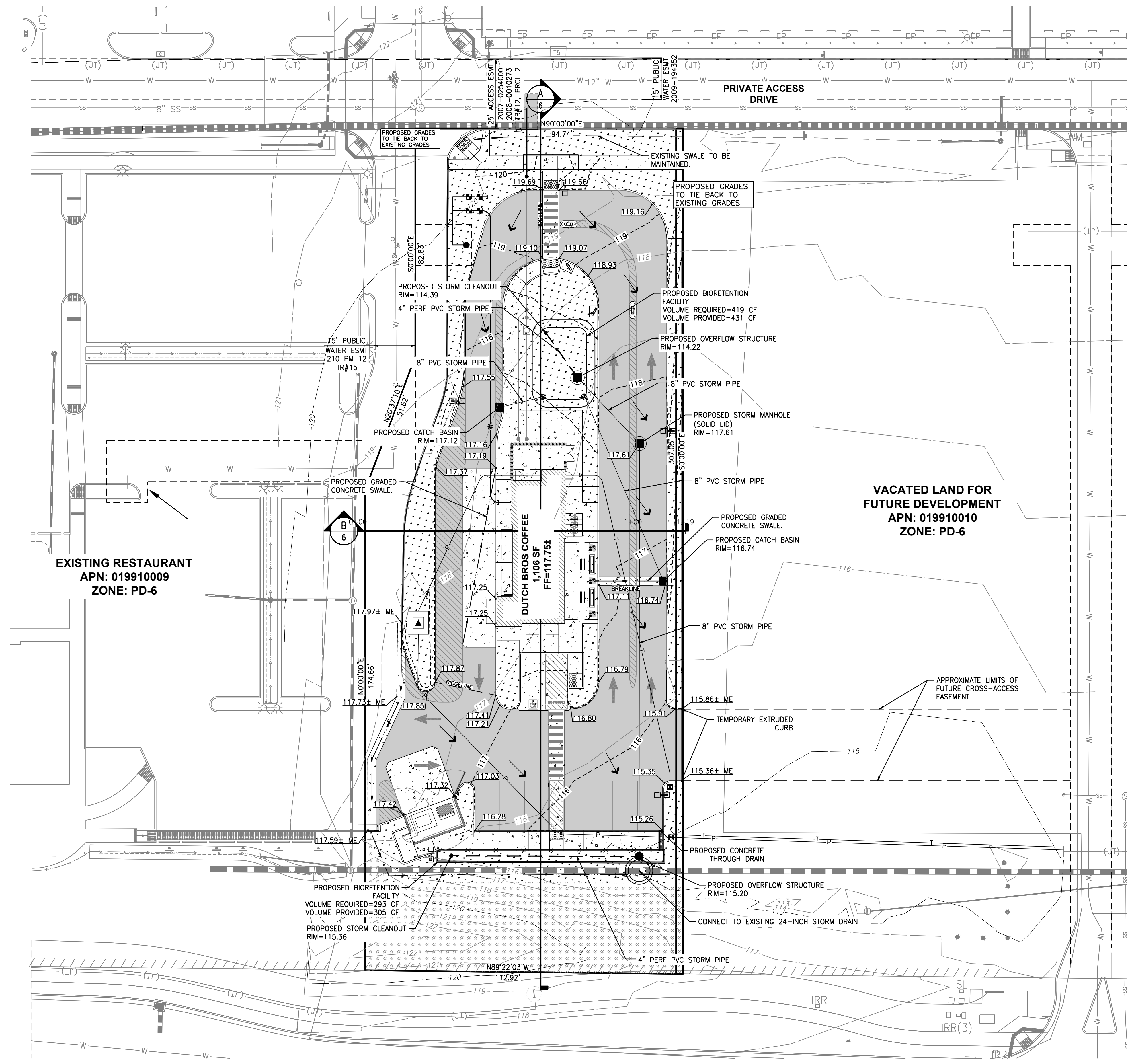
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Know what's below.  
Call before you dig.  
811



# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA PRELIMINARY GRADING AND DRAINAGE PLAN



### GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.

### GRADING PLAN LEGEND:

FF - FINISHED FLOOR PROPOSED CONTOURS  
ME - MATCH EXISTING EXISTING CONTOURS

### UTILITY POTHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

### ESTIMATED EARTHWORK QUANTITIES:

CUT: 300 CY  
FILL: 0 CY  
NET: 300 CY (CUT)  
AREA TO BE DISTURBED = 0.76 ACRES

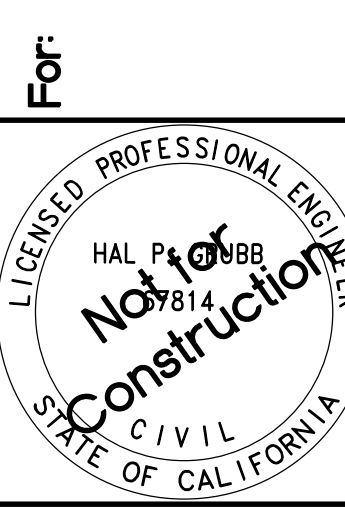
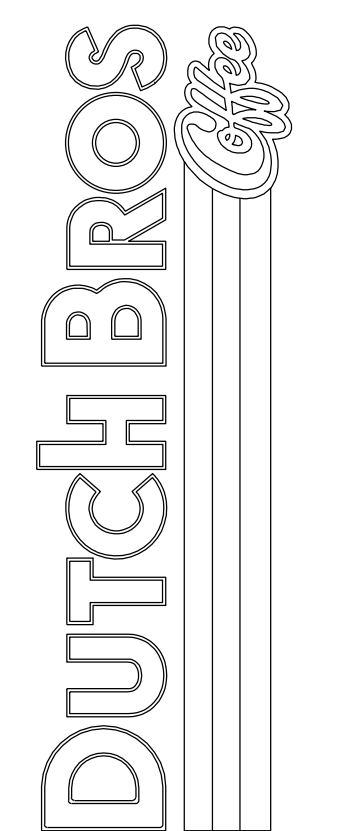
- THE QUANTITIES LISTED DO NOT INCLUDE PROPOSED PAVING SECTIONS AS LISTED BY THE GEOTECHNICAL ENGINEER.
  - EARTHWORK QUANTITIES ARE APPROXIMATE AND DO NOT ACCOUNT FOR CLEARING AND GRUBBING, TRENCHING, OR OVER EXCAVATION ETC. AS REQUIRED BY THE GEOTECHNICAL REPORT.
  - THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING SITE CONDITIONS AND CALCULATE THEIR OWN EARTH WORK QUANTITIES FOR THE PROJECT PRIOR TO BID.
  - EARTHWORK QUANTITIES DO NOT INCLUDE GRIND AND OVERLAY QUANTITIES.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE DATED: TBD  
PREPARED BY: KRAZAN & ASSOCIATES, INC.

### LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
EXISTING LANDSCAPING	

PRELIMINARY NOT FOR CONSTRUCTION

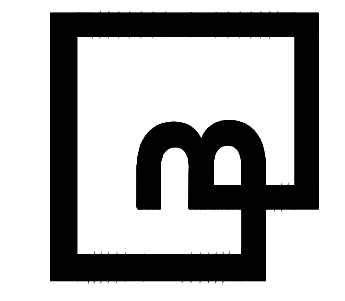
**THE:** PRELIMINARY GRADING AND DRAINAGE PLAN  
 2345 SAND CREEK RD  
 BRENTWOOD, CA



Scale: Horizontal 1" = 20' Vertical N/A

Designed: RAG	Drawn: PAL	Checked: AEM	Approved: HPG	Date: 04/26/24
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**Barghausen Consulting Engineers, Inc.**  
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 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)

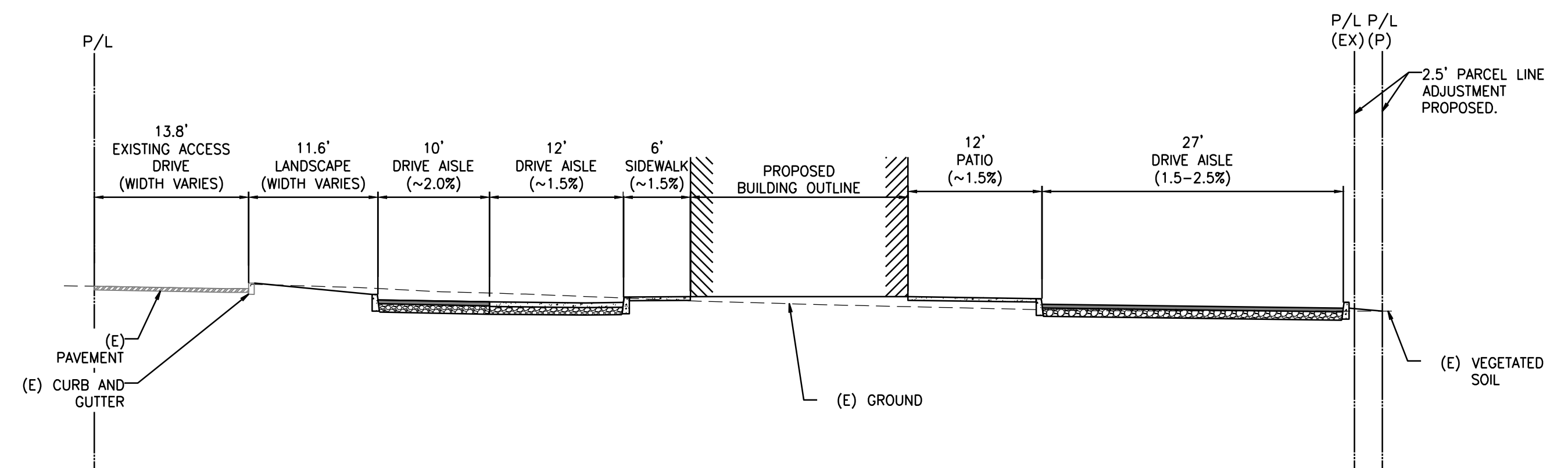


Job Number: 23021  
 Sheet: 5  
 2019 DB Franchising USA, LLC

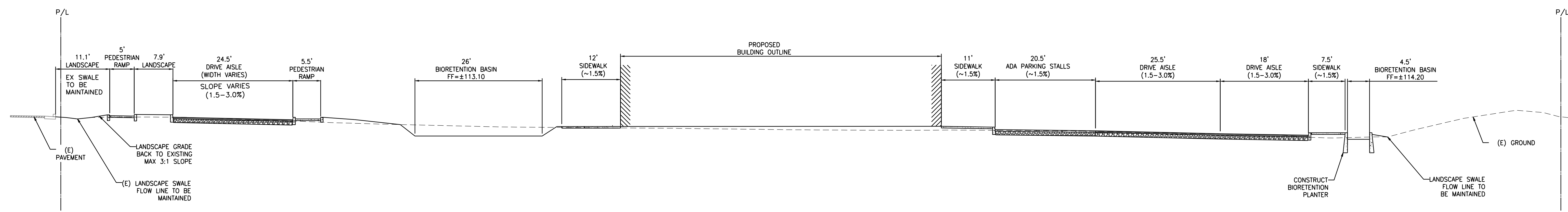


# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA

## GRADING SECTIONS



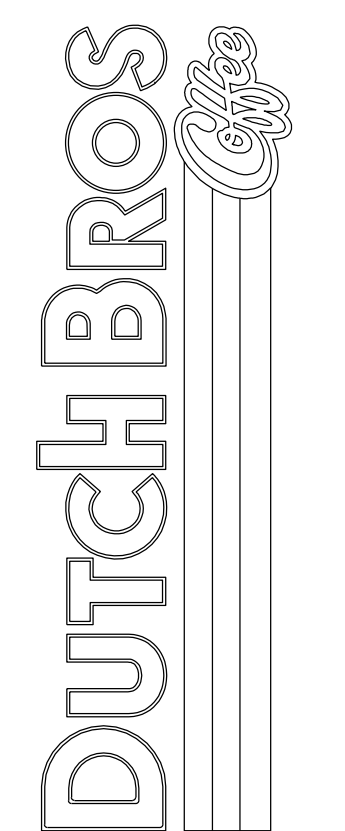
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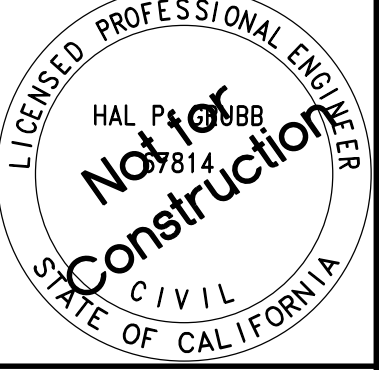
**GRADING SECTION**  
SCALE: NOT TO SCALE

**GRADING SECTIONS**  
2345 SAND CREEK RD  
BRENTWOOD, CA

Title:

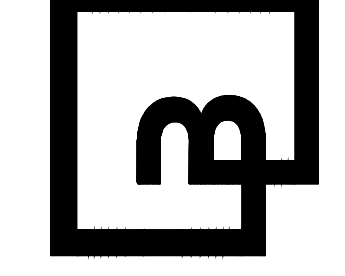


For:



Scale:	Horizontal	Vertical
	N/A	N/A
Designed:	PAL	
Drawn:		
Checked:	AEM	
Approved:	HPS	
Date:	04/26/24	

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)

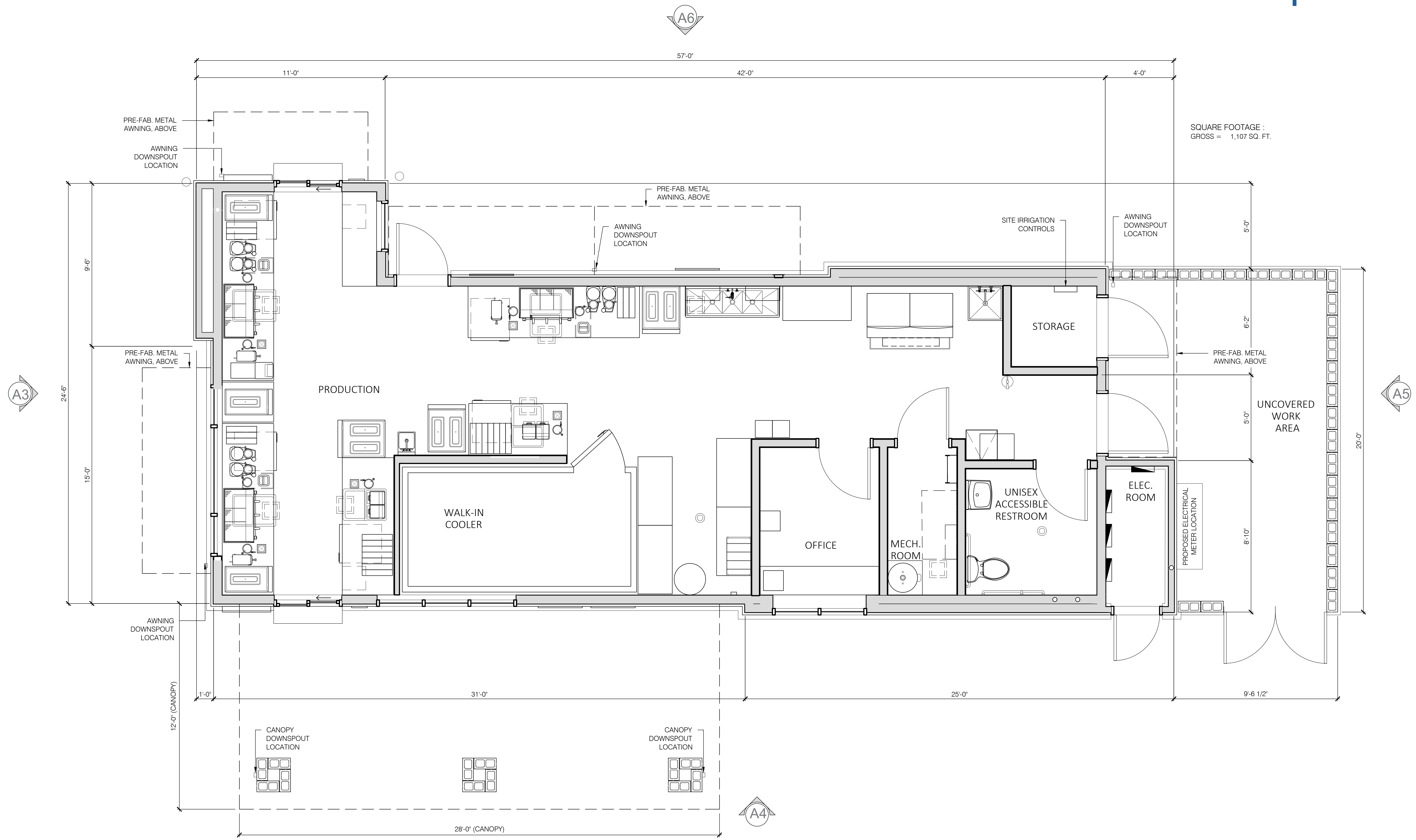


Job Number: **23021**  
Sheet: **6**  
2019 DB  
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**PRELIMINARY NOT FOR CONSTRUCTION**

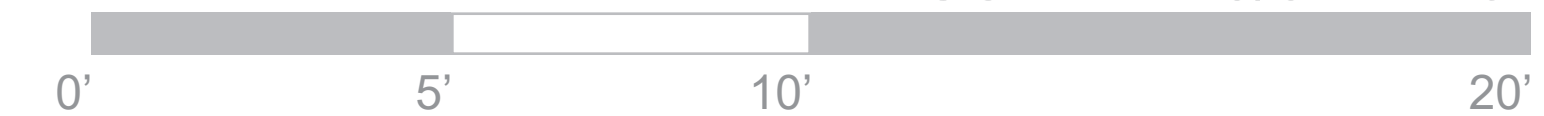
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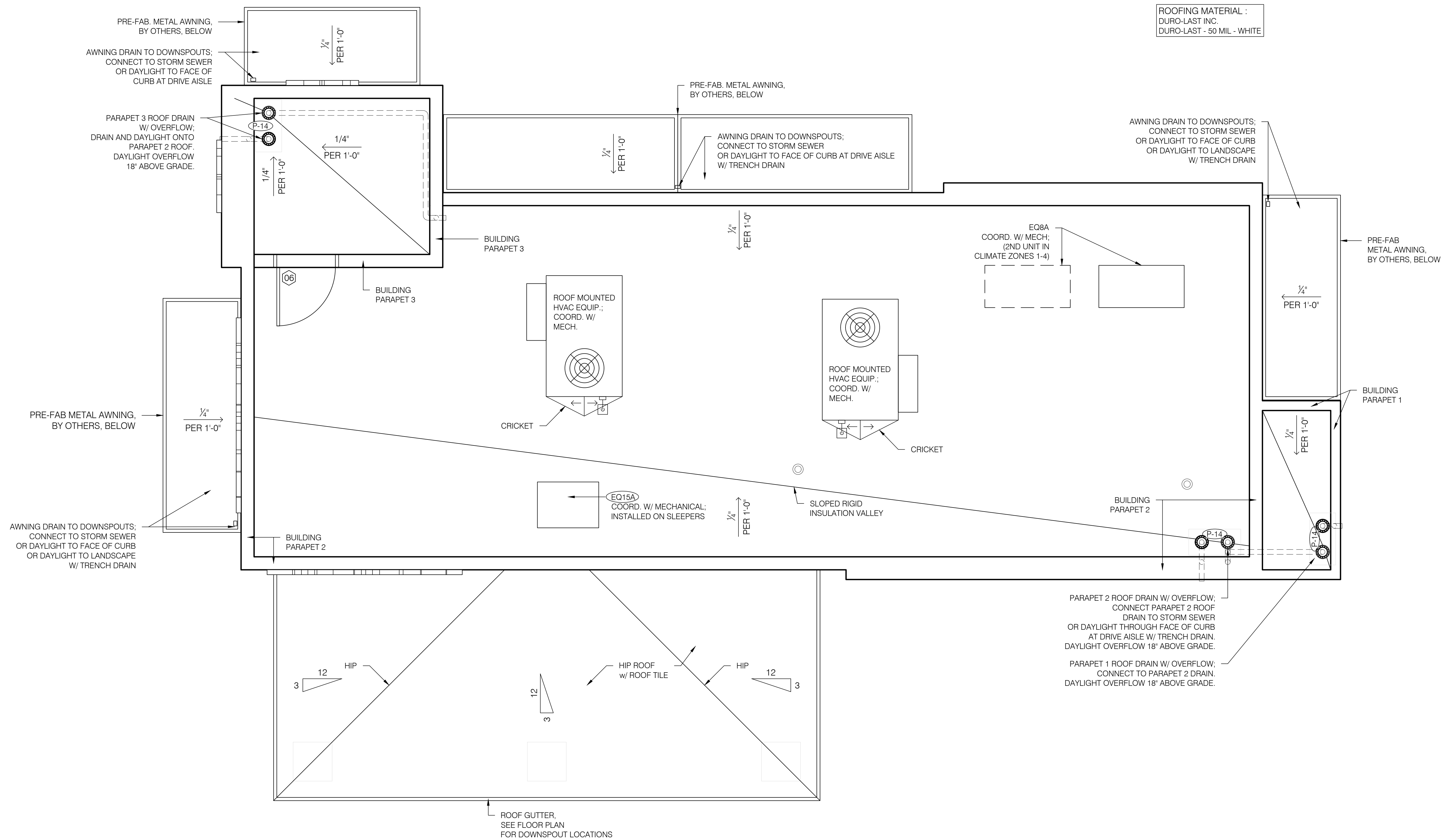


SQUARE FOOTAGE :  
GROSS = 1,107 SQ. FT.

SCALE: 3/8" = 1'-0"





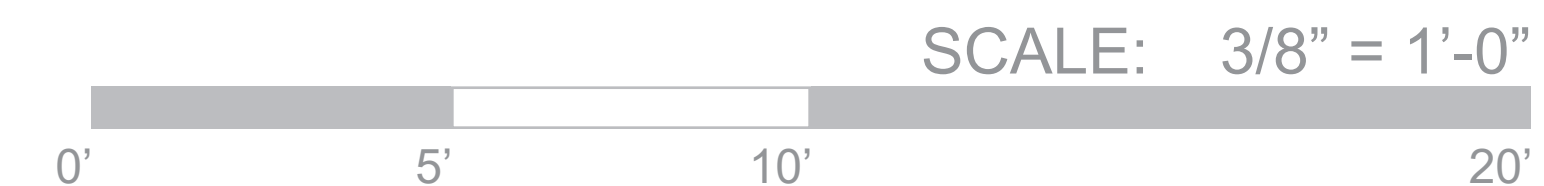
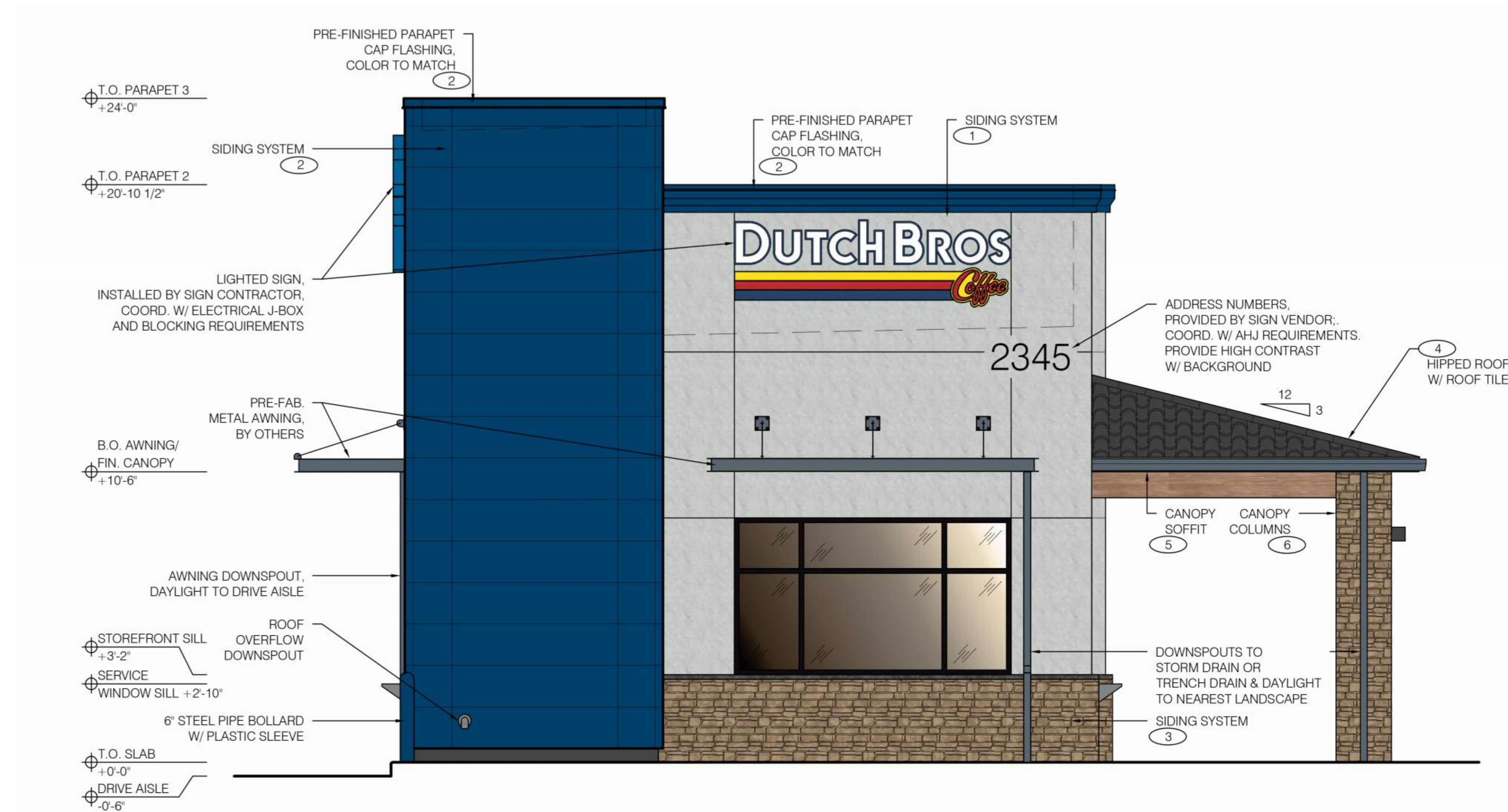


SCALE: 3/8" = 1'-0"



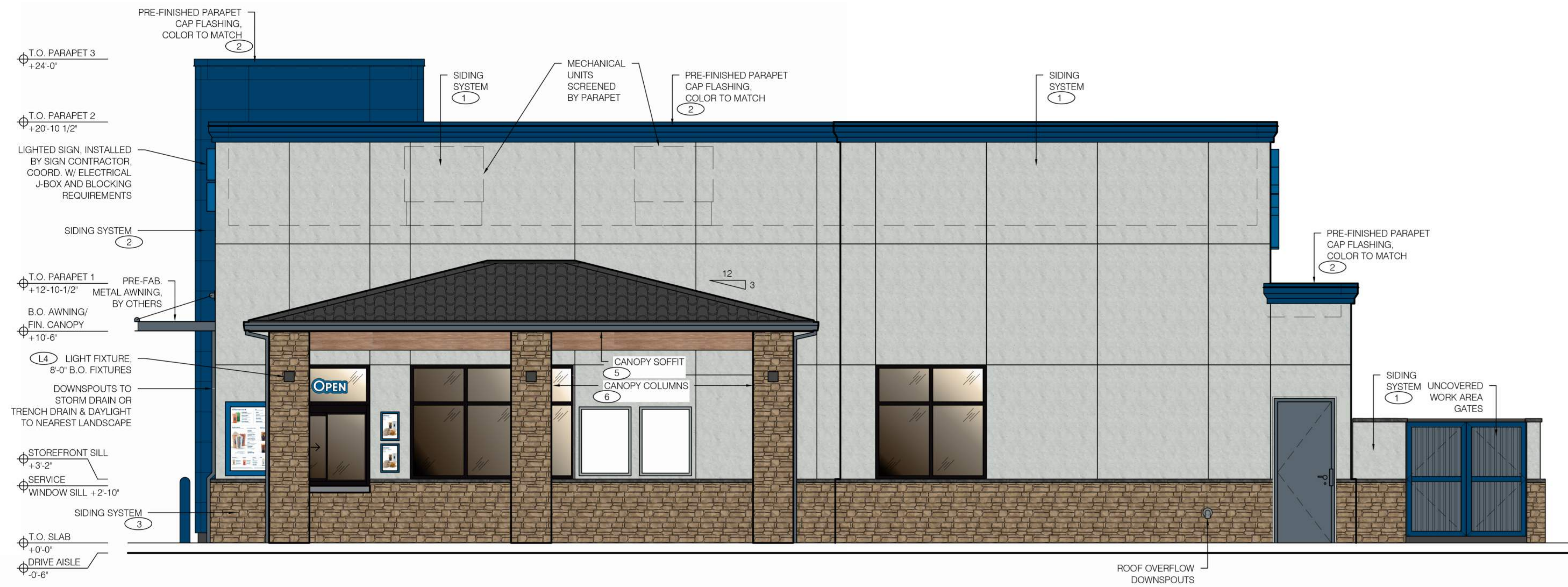


EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH; REVEALS AS SHOWN	PAINTED; COLOR: SEATTLE MIST
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	CONTINENTAL CAST STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	ROOF	EAGLE ROOFING PRODUCTS	PROFILE: CAPISTRANO	3595 DARK CHARCOAL
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
MISC.				
	STOREFRONT	KAWNEER, OR. SIM.	TRIFAB VERSAGLAZE 451T, OR SIM.	COLOR: BLACK, #29
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



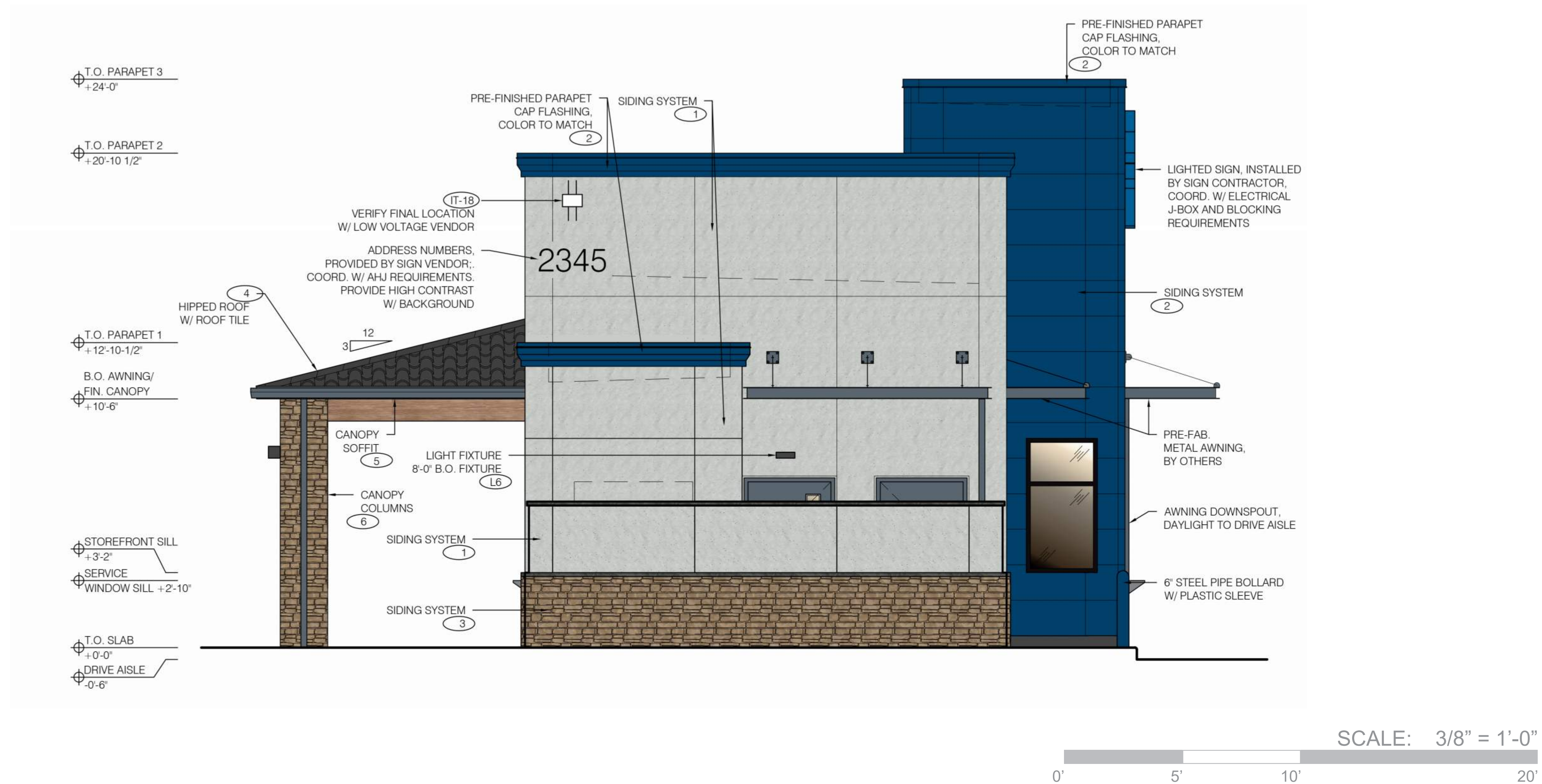


EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	PAINTED; COLOR: SEATTLE MIST
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	CONTINENTAL CAST STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	ROOF	EAGLE ROOFING PRODUCTS	PROFILE: CAPISTRANO	3595 DARK CHARCOAL
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
MISC.				
	STOREFRONT	KAWNEER, OR. SIM.	TRIFAB VERSAGLAZE 451T, OR SIM.	COLOR: BLACK, #29
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



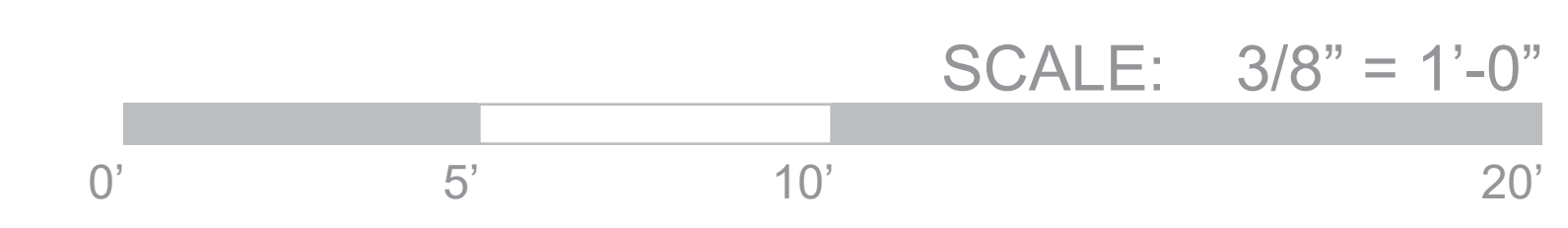
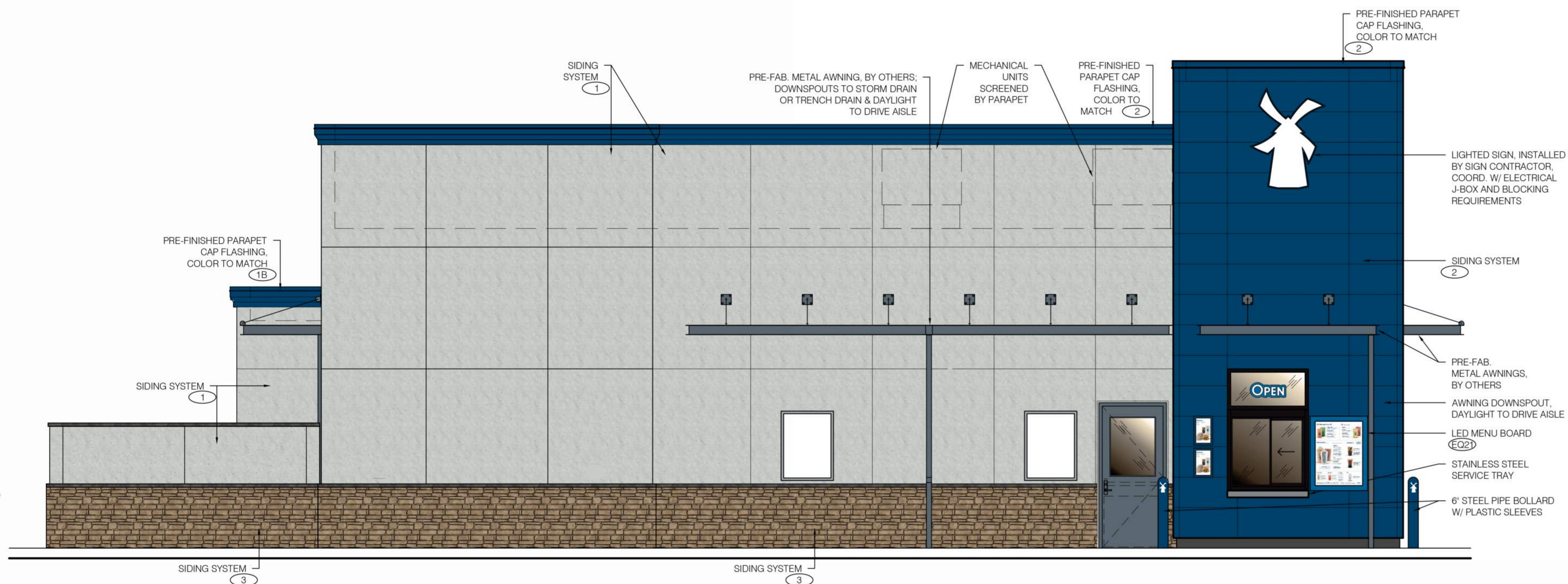


EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	PAINTED; COLOR: SEATTLE MIST
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	CONTINENTAL CAST STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	ROOF	EAGLE ROOFING PRODUCTS	PROFILE: CAPISTRANO	3595 DARK CHARCOAL
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
MISC.				
	STOREFRONT	KAWNEER, OR. SIM.	TRIFAB VERSAGLAZE 451T, OR SIM.	COLOR: BLACK, #29
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				

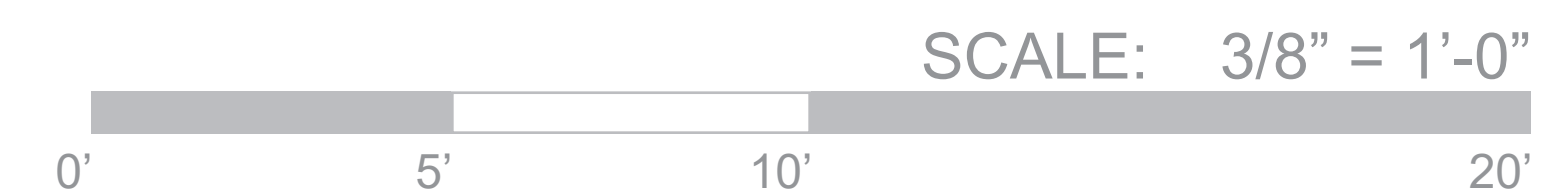
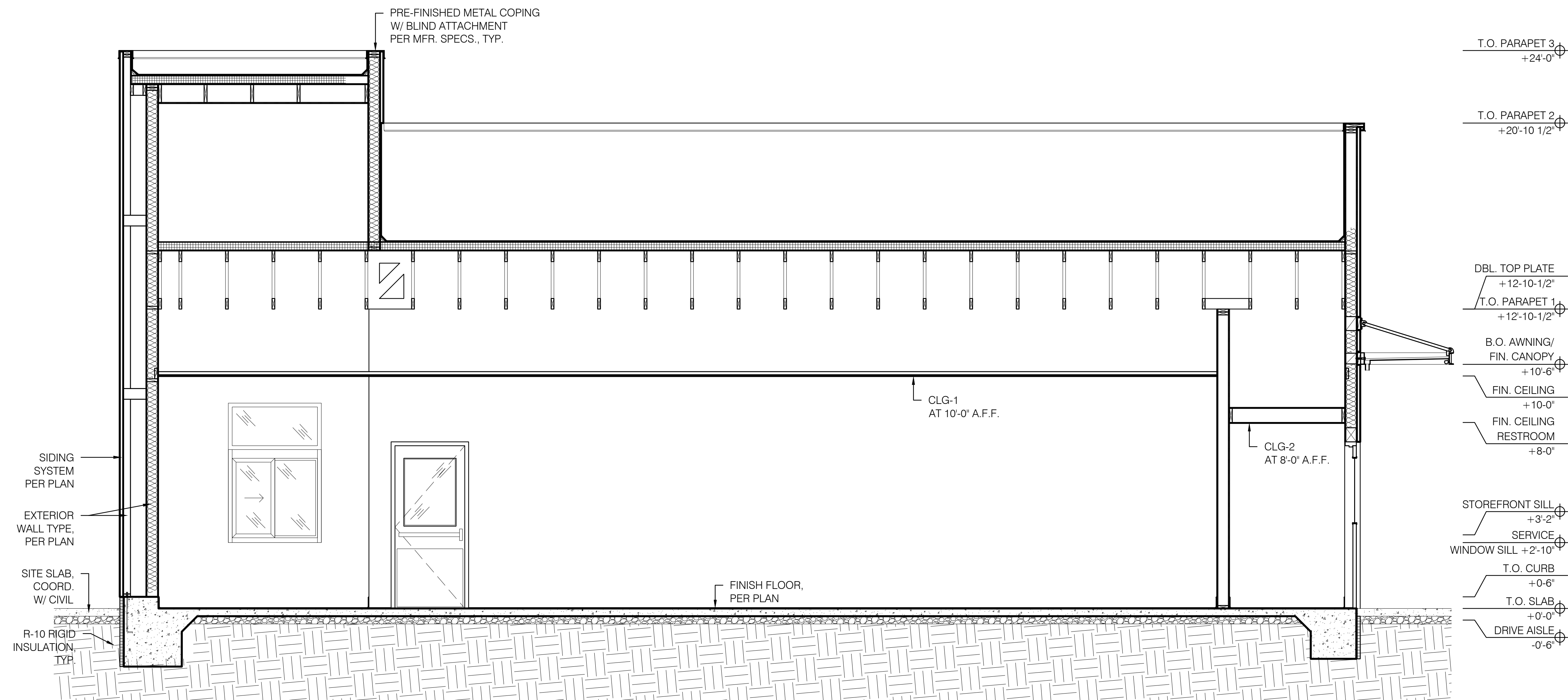




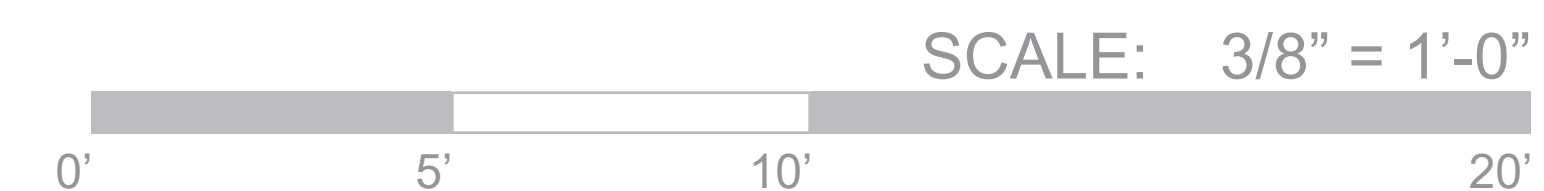
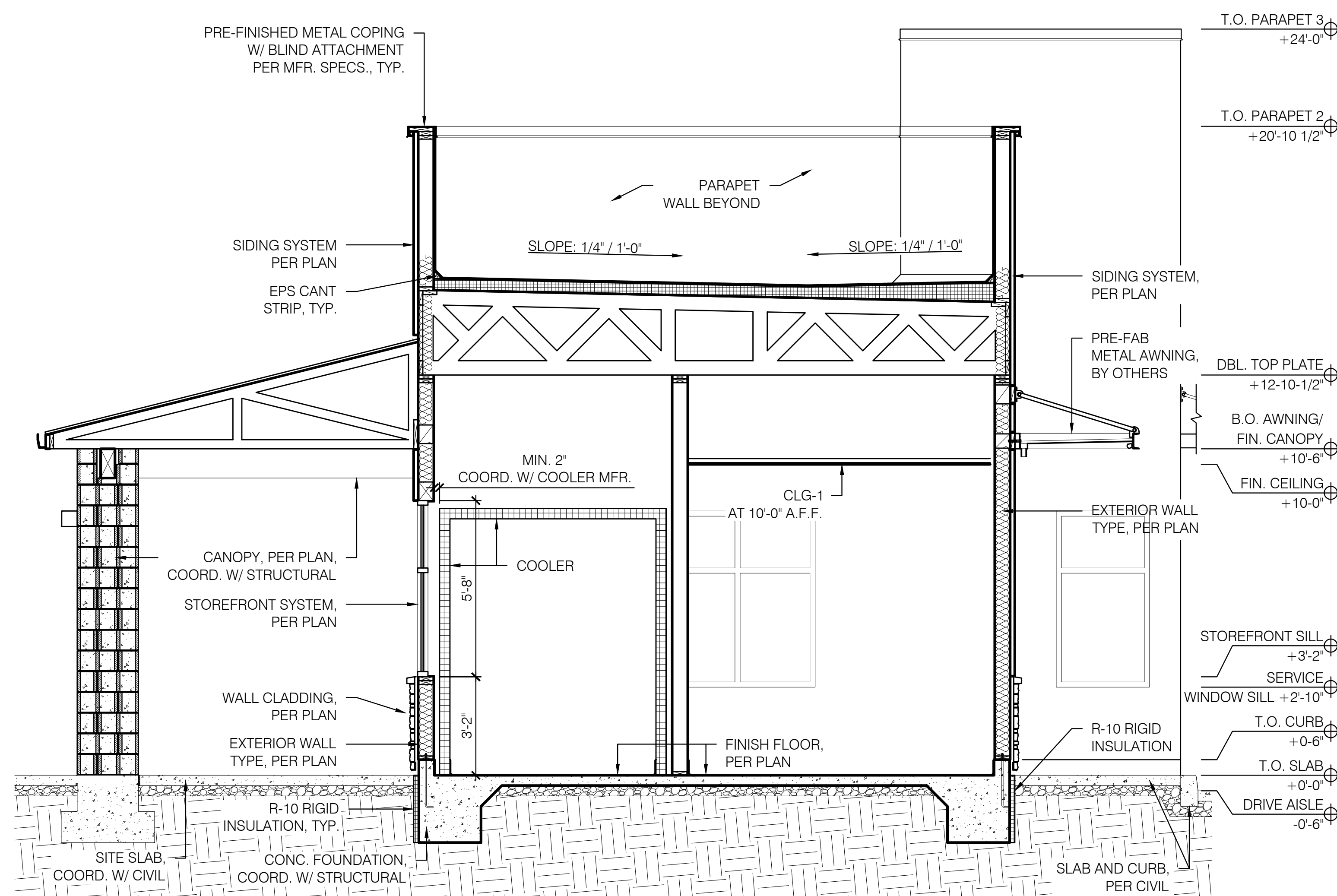
EXTERIOR FINISH SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE E FINISH, REVEALS AS SHOWN	PAINTED; COLOR: SEATTLE MIST
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	CONTINENTAL CAST STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	ROOF	EAGLE ROOFING PRODUCTS	PROFILE: CAPISTRANO	3595 DARK CHARCOAL
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, MESQUITE	COLOR: PER MFR.
MISC.				
	STOREFRONT	KAWNEER, OR. SIM.	TRIFAB VERSAGLAZE 451T, OR SIM.	COLOR: BLACK, #29
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				















**FIBER CEMENT BOARD**  
 MANUFACTURER: NICHHA  
 PROFILE: ILLUMINATION  
 COLOR: BLDG DB BLUE



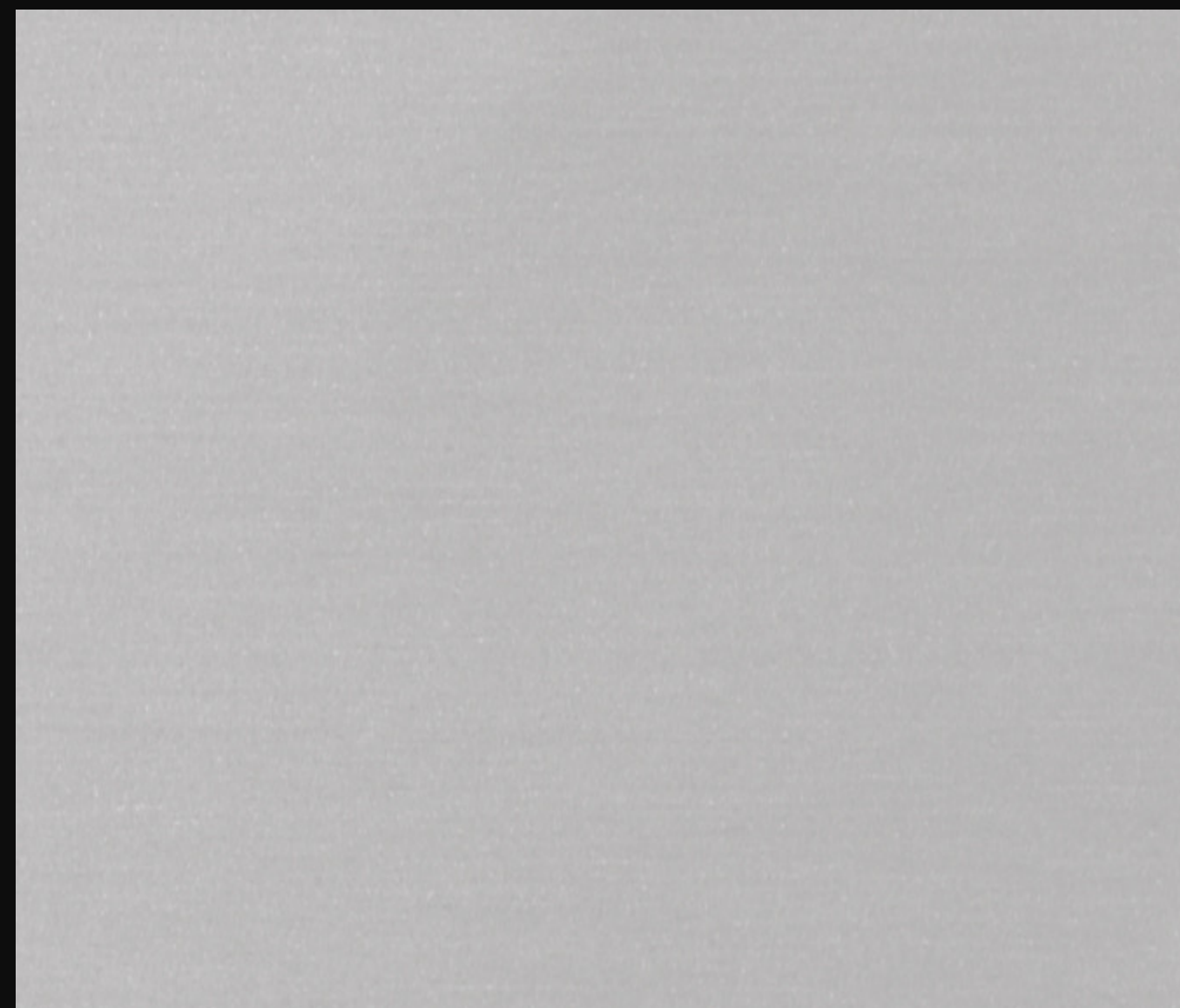
**STUCCO SYSTEM**  
 MANUFACTURER: DRYVIT  
 PROFILE: CCP-2 SYSTEM,  
 SANDPEBBLE FINE E FINISH  
 COLOR: PAINTED, SYNERGY, SEATTLE MIST



**CULTURED STONE**  
 MANUFACTURER: ELDORADO STONE  
 PROFILE: CLIFFSTONE - BANFF SPRINGS  
 COLOR: PER MFR.



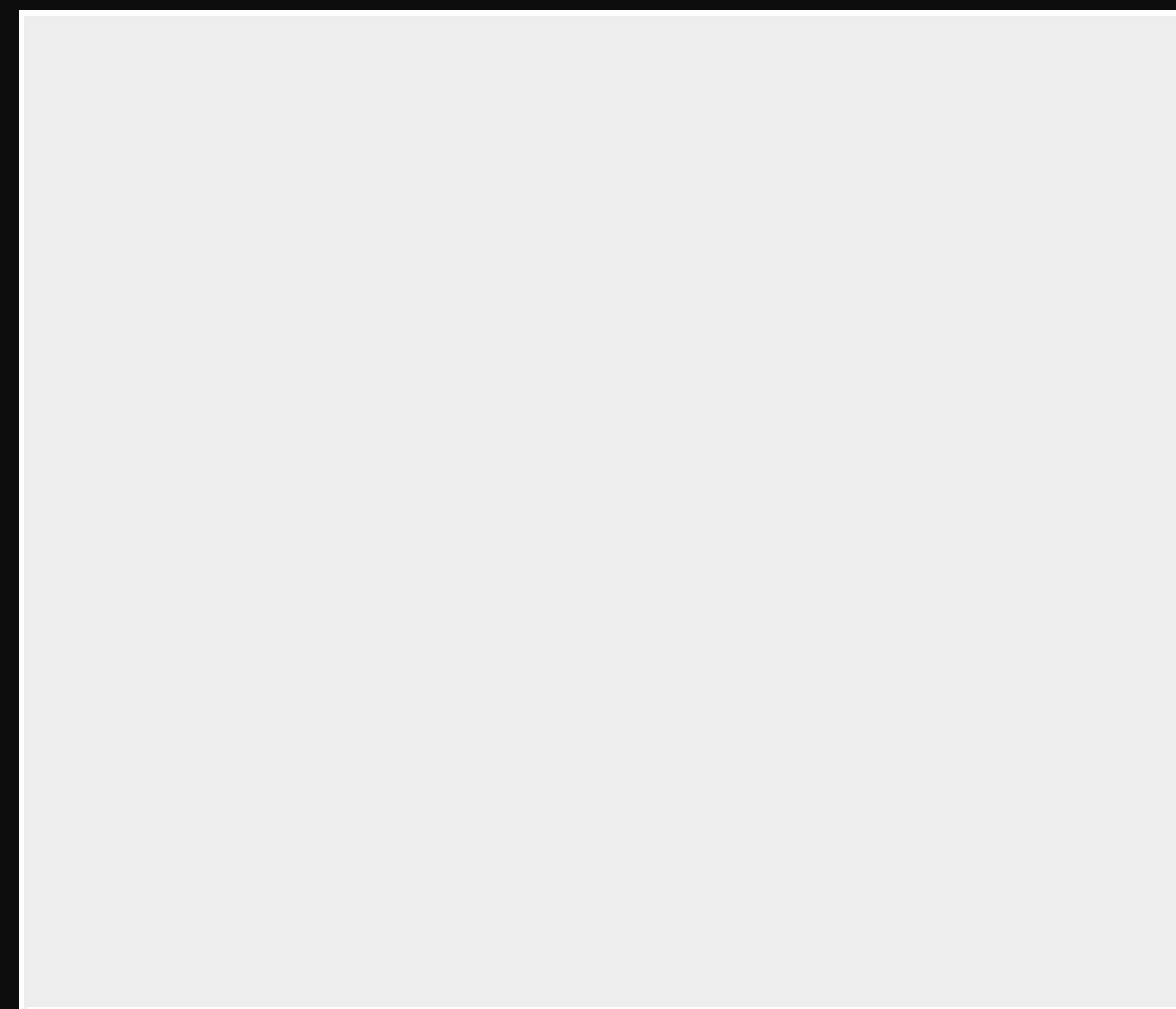
**CANOPY SOFFIT**  
 MANUFACTURER: HEWN  
 PROFILE: NW SPRUCE  
 NATURAL & SEALED  
 COLOR: PER MFR.



**WINDOW SYSTEM**  
 MANUFACTURER: KAWNEER, OR SIM.  
 PROFILE: ANODIZED ALUMINUM  
 FINISH: #29, BLACK, OR SIM.



**AWNINGS & DOORS - PAINT**  
 MANUFACTURER: SHERWIN-WILLIAMS  
 COLOR: BLDG DB GRAY DARK

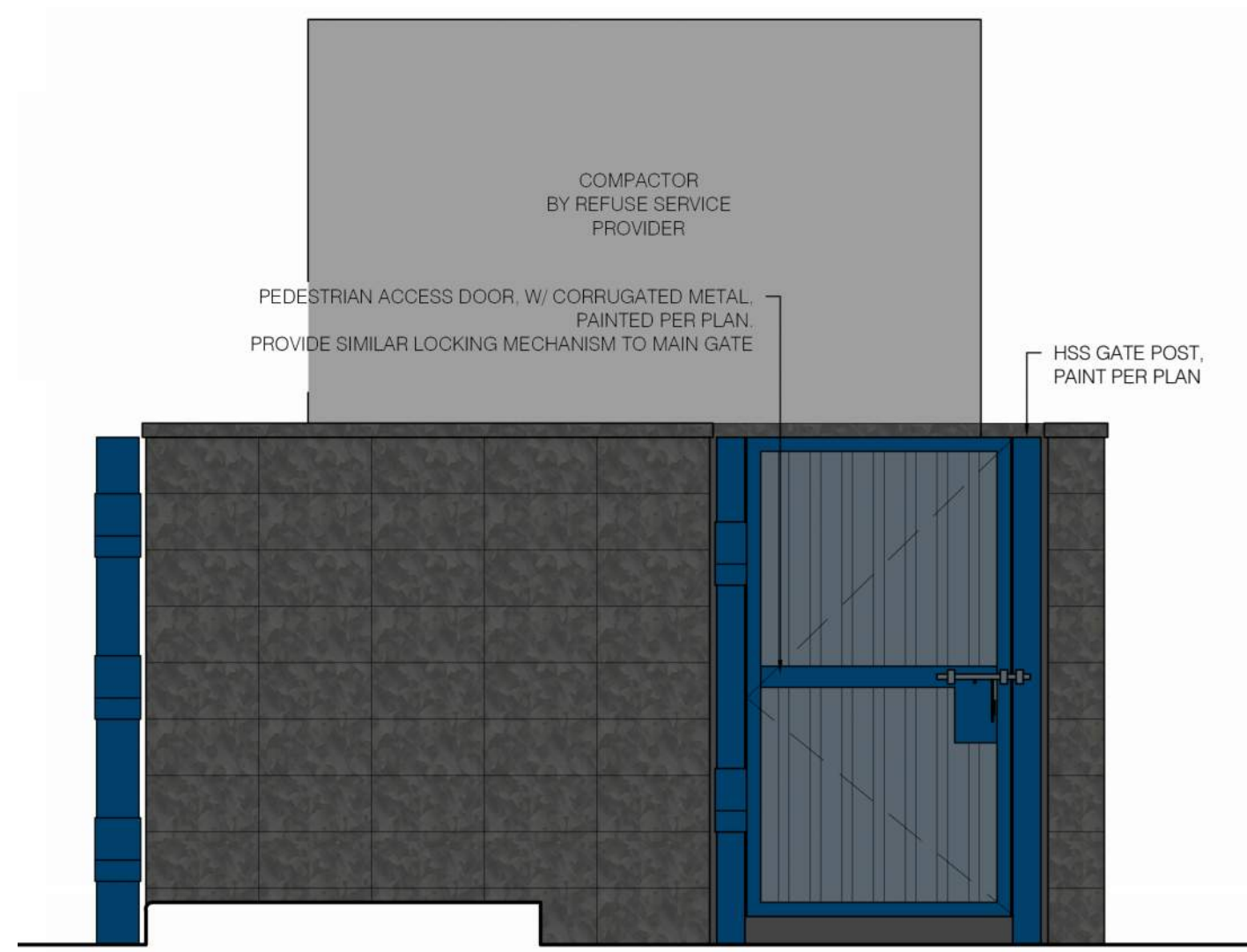


**ROOFING MATERIAL - BUILDING**  
 MANUFACTURER: DURO-LAST  
 DL-60 - 60 MIL  
 COLOR: WHITE



**ROOFING MATERIAL - CANOPY**  
 MANUFACTURER: EAGLE ROOFING  
 MATERIALS  
 PROFILE - CAPISTRANO  
 COLOR: 3595 - DARK CHARCOAL



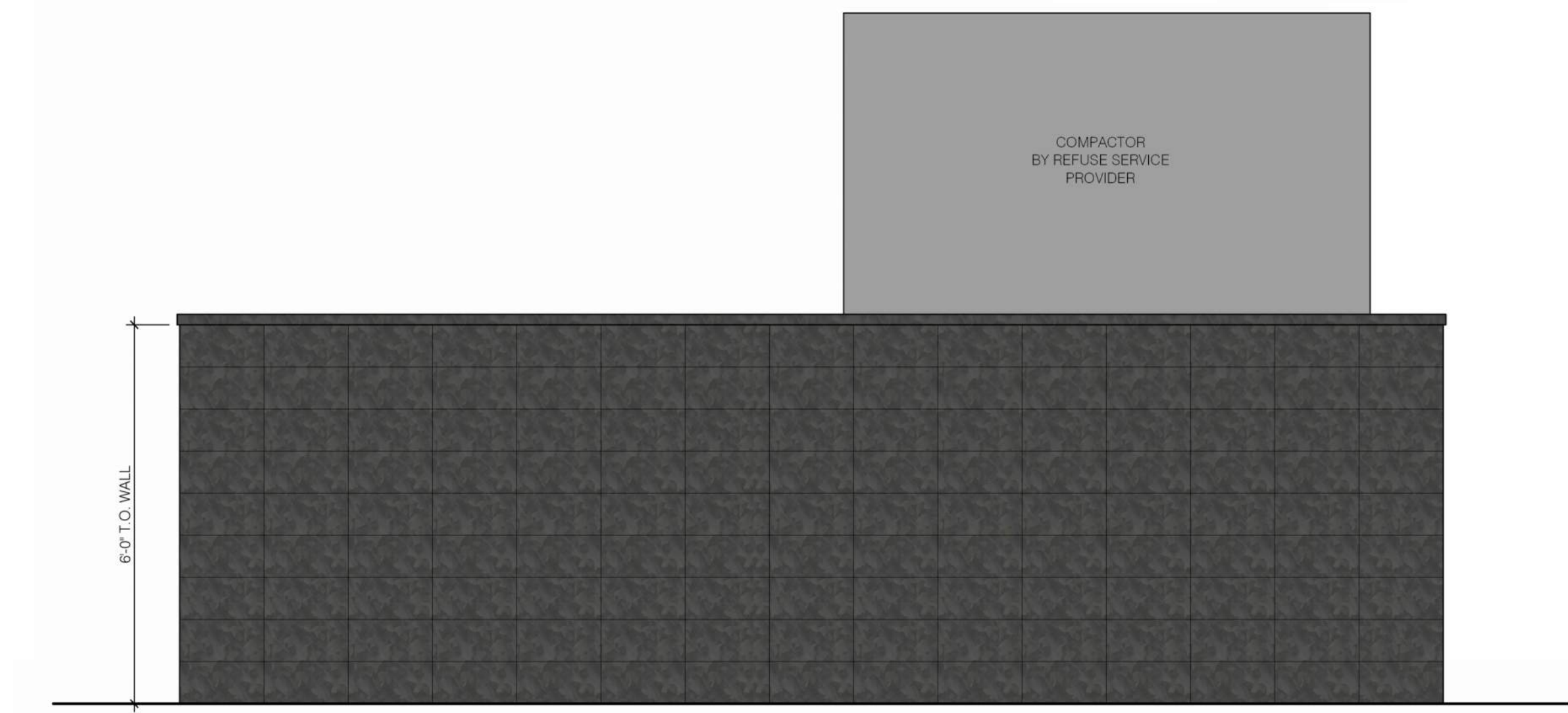


5 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"

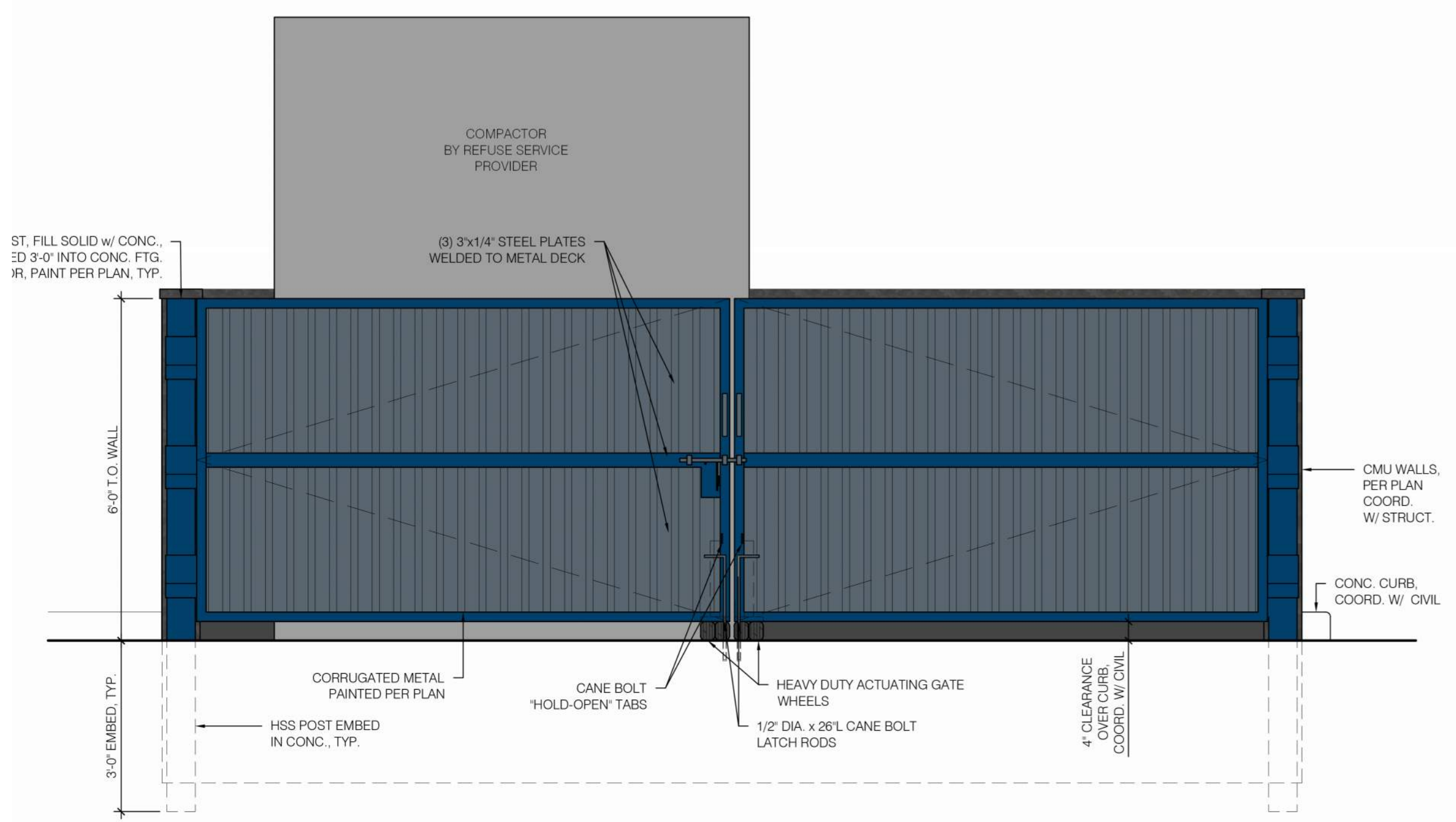


4 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"

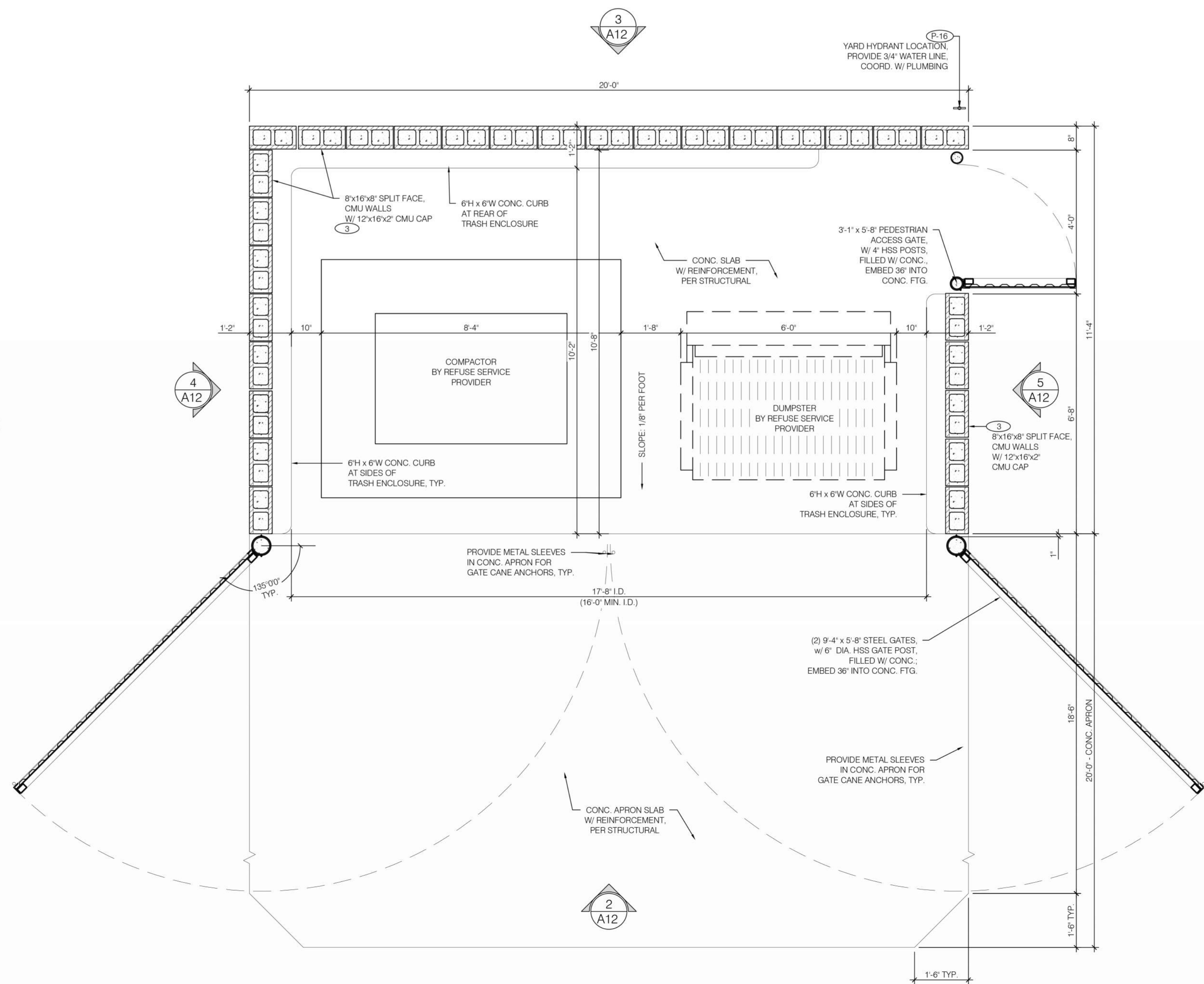
TRASH ENCLOSURE MATERIALS				
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	CMU BLOCK	BASALITE	490	SPLIT FACE, 8x16x8; 8x8x8 AS NECESSARY
	CMU CAP	BASALITE	490	12x16x2
PT-2	PAINT	SHERWIN-WILLIAMS	8656-11295	BLDG DB DARK GRAY; GATES BODY
PT-3	PAINT	SHERWIN-WILLIAM	8656-12045	BLDG DB BLUE; GATE FRAMES & POSTS



3 TRASH ENCLOSURE REAR ELEVATION  
SCALE: 1/2" = 1'-0"

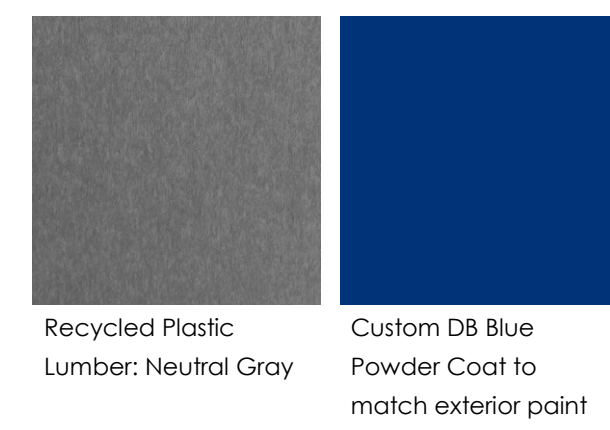


2 TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"





**Short Description**

Outdoor Table, bolt-down  
 Outdoor Bench, bolt-down

**Part Number**

FOT48-DB  
 FOB48-DB

**Dimensions**

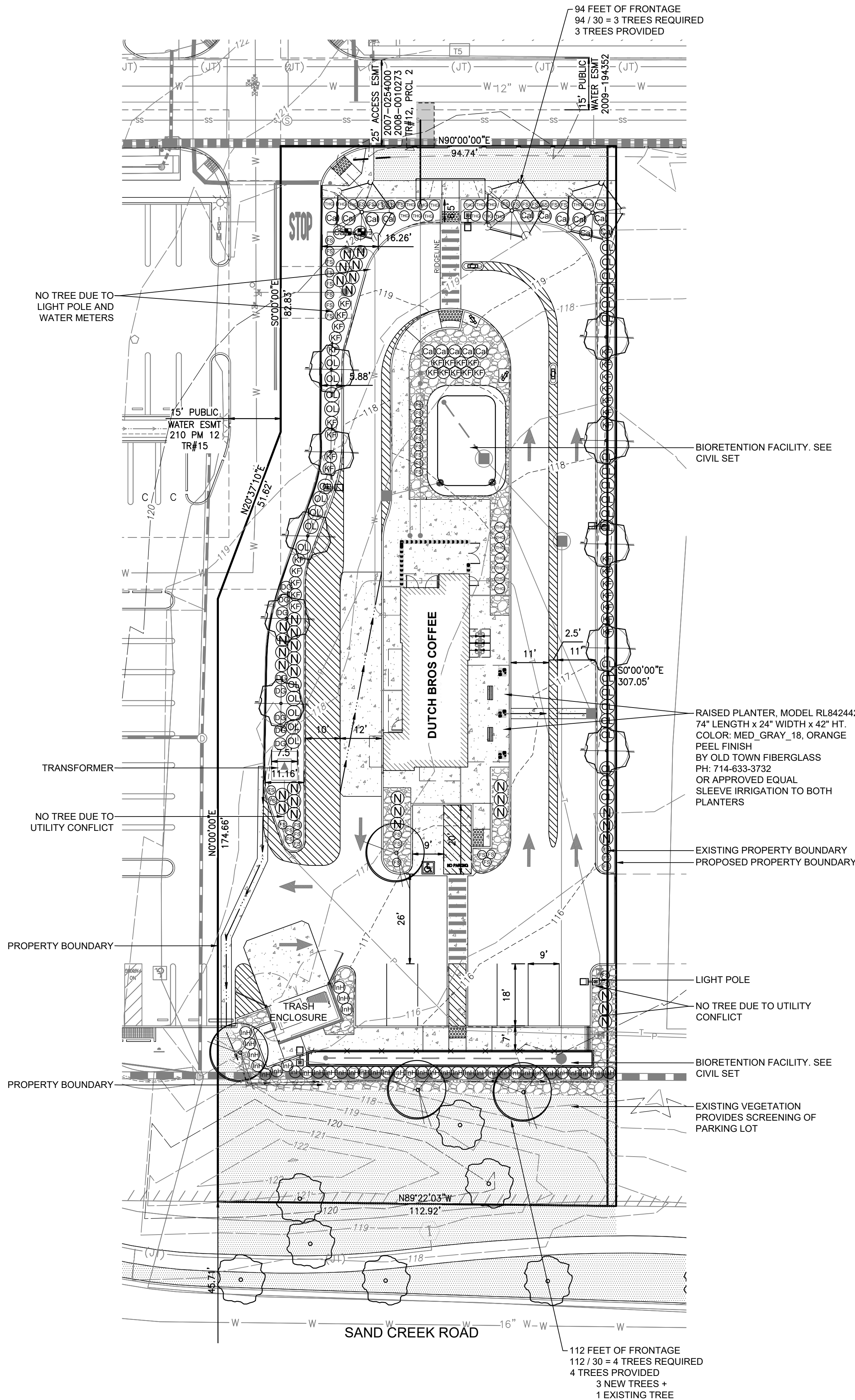
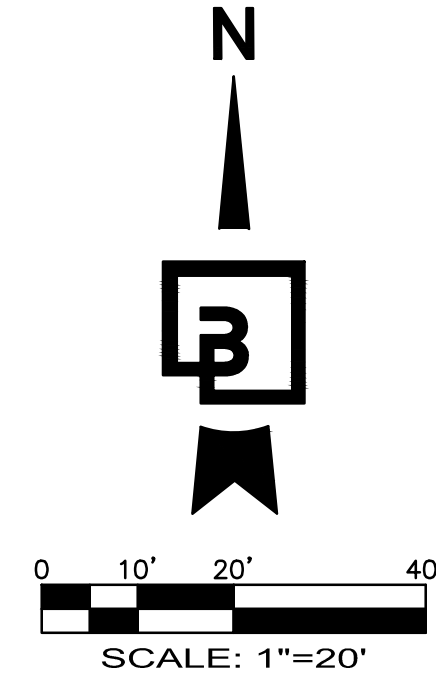
48" x 48" x 30"H  
 18" x 48" x 18" H





# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA

## PRELIMINARY LANDSCAPE PLANTING PLAN



### LEGEND

- EXISTING LANDSCAPE AND IRRIGATION TO BE RETAINED. REMODEL EXISTING IRRIGATION TO ACCOMMODATE NEW LANDSCAPE BED LAYOUT
- EXISTING TREE TO BE RETAINED. PROTECT DURING CONSTRUCTION

### PROJECT DATA

NAME: DUTCH BROS COFFEE - BRENTWOOD, CA  
 ADDRESS: 2345 SAND CREEK RD  
 BRENTWOOD, CA

PARCEL AREA = 32,656 SF (0.75 ACRES)

STANDARD VEHICLE PARKING SPACES REQUIRED = 5  
 STANDARD SPACES PROVIDED = 7  
 ACCESSIBLE VEHICLE PARKING SPACES REQUIRED = 1  
 ACCESSIBLE SPACES PROVIDED = 1  
 TOTAL VEHICLE PARKING SPACES = 8

### LANDSCAPE REQUIREMENTS

BRENTWOOD DESIGN GUIDELINES  
 WITHIN BUILDING AND PARKING LOT SETBACK, TREE PLANTING SHALL BE REQUIRED AT A DENSITY OF ONE (1) TREE PER THIRTY LINEAL FEET (30 LF) OF FRONTAGE.  
 SEE PLAN FOR LOCATIONS

ALL PARKING LOTS SHALL HAVE A CONTINUOUS 36" HEIGHT HEDGE.  
 SEE PLAN FOR LOCATION

ONE (1) TREE PER THREE (3) OUTDOOR PARKING SPACES  
 8 SPACES PROPOSED / 3 = 3 TREES REQUIRED  
 3 TREES PROVIDED

17.630.008.A, 7% OF LOT IN LANDSCAPING REQUIRED  
 32,656 SQ FT PARCEL SIZE x 7% = 2,286 SQ FT LANDSCAPING REQUIRED  
 4,025 SQ FT LANDSCAPING PROVIDED

17.630.008.B, PARKING LOTS SHALL BE REQUIRED TO HAVE SHADE TREES AT A RATE OF SIXTEEN TREES PER ACRE OR FRACTION THEREOF  
 32,656 SQ FT PARCEL SIZE / 43,560 = 0.75  
 0.75 x 16 = 12 TREES REQUIRED  
 17 TREES PROVIDED

### PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAMES	SIZE CONDITION	SPACING	QTY	WUCOLS IV REGION 2	REMARKS
<b>TREES:</b>						
	PISTACHE CHINENSIS / CHINESE PISTACHE	15 GAL	AS SHOWN	10	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	MAGNOLIA GRANDIFLORA / EVERGREEN MAGNOLIA	15 GAL	AS SHOWN	3	MEDIUM	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	OLEA EUROPAEA 'MONHER' / 'MAJESTIC BEAUTY' FRUITLESS OLIVE	15 GAL	AS SHOWN	4 / 17	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
<b>SHRUBS:</b>						
	NANDINA DOMESTICA 'MOON BAY' / MOON BAY HEAVENLY BAMBOO	1 GALLON	42" O.C.	21	LOW	FULL & BUSHY
	OLEA EUROPAEA 'MONTRA' / 'LITTLE OLLIE' OLIVE	1 GALLON	48" O.C.	17	VERY LOW	FULL & BUSHY
	CALLISTEMON 'LITTLE JOHN' / CALLISTEMON	1 GALLON	48" O.C.	15	LOW	FULL & BUSHY
	RHAPHIOLEPIS UMBELLATA 'RUTRAPHI' / 'SOUTHERN MOON' YEDDA HAWTHORN	32"-36" HT.	42" O.C.	34	LOW	FULL & BUSHY, MAINTAIN AS 36" HEIGHT HEDGE
<b>ORNAMENTAL GRASSES:</b>						
	DESCHAMPSIA CAESPITOSA / TUFTED HAIR GRASS	1 GALLON	36" O.C.	18	LOW	FULL & BUSHY
	MUHLENBERGIA RIGENS / DEER GRASS	1 GALLON	42" O.C.	9	LOW	FULL & BUSHY
	FESTUCA MAIREI / ATLAS FESCUE	1 GALLON	30" O.C.	28	LOW	FULL & BUSHY
	CALAMAGROSTIS ACUT. 'KARL FOESTER' / FEATHER REED GRASS	1 GALLON	42" O.C.	14	LOW	FULL & BUSHY

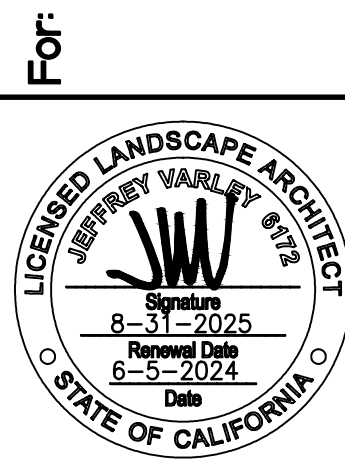
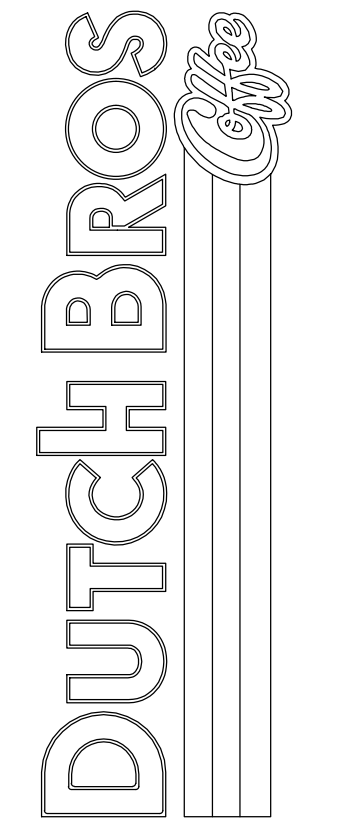
**AGGREGATE:**  
 A MINIMUM OF 2 INCHES OF MULCH SHALL BE ADDED IN NON-TURF AREAS TO THE SOIL SURFACE AFTER PLANTING. NON-POROUS MATERIALS SHALL NOT BE PLACED UNDER THE MULCH.

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL A LAYER OF ROCK MULCH, SONOMA GOLD 3/4-INCH OR APPROVED EQUAL. INSTALL ROCK MULCH OVER WEED BARRIER FABRIC, IN ALL PLANTING AREAS. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER ROCK MULCH HAS BEEN INSTALLED



IRRIGATED LANDSCAPE WATER EFFICIENCY TABLE						
WATER BUDGET CALCULATIONS						
MAXIMUM APPLIED WATER ALLOWANCE						
(Eto) (0.62) [(0.45 x LA) + (0.45 x SLA)]	LOCAL Eto	LA =	SLA =			MAWA TOTAL
NOTE: NO SPECIAL LANDSCAPE AREAS (SLA) ARE PROPOSED FOR THIS PROJECT	57.0	4,025	0			64,010 GAL.
ESTIMATED TOTAL WATER USE						
(Eto) (0.62) [(PF/IE) x (LA)]	LOCAL Eto	PF =	LA =	SLA =		ETWU TOTAL =
	57.0	0.3	4,025	0		NET TOTAL 52,647 GAL.

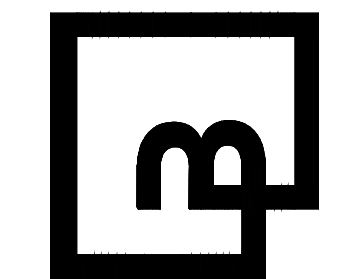
Title: **PRELIMINARY LANDSCAPE PLANTING PLAN**  
**2345 SAND CREEK RD**  
**BRENTWOOD, CA**



Scale: Horizontal 1" = 20' Vertical N/A

Designed \_\_\_\_\_  
 Drawn \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Approved \_\_\_\_\_  
 Date \_\_\_\_\_

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)



Job Number: **23021**  
 Sheet: **LP-1 of 3**  
 2019 DCA  
 Planning USA, LLC

**PRELIMINARY NOT FOR CONSTRUCTION**

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# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA

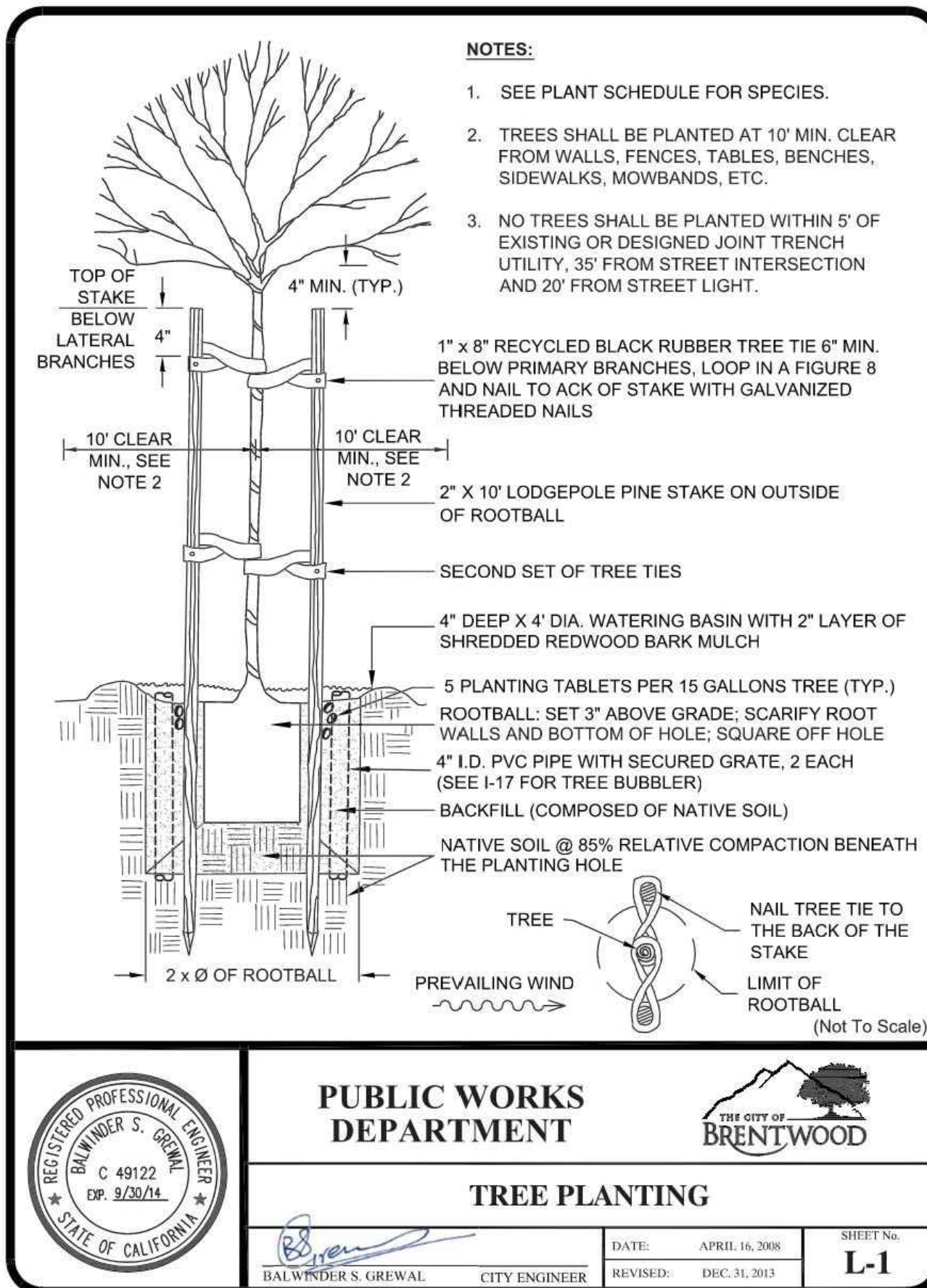
## LANDSCAPE PLANTING NOTES

### GENERAL NOTES

- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE MOST CURRENT CITY OF BRENTWOOD STANDARD PLANS AND SPECIFICATIONS. IN CASE OF A CONFLICT BETWEEN THE CITY OF BRENTWOOD STANDARD PLANS AND SPECIFICATIONS AND THE PLANS AND SPECIFICATIONS SHOWN HERE, THE MORE STRINGENT PLANS SHALL GOVERN.
- AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY OF BRENTWOOD FOR ANY WORK TO BE PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. (NOTE ALL OTHER PERMIT REQUIREMENTS FROM ANY OTHER AFFECTED AGENCIES.)
- APPROVAL OF THESE PUBLIC IMPROVEMENTS PLANS AS SHOWN DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
- THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS.  
HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY WHETHER OR NOT IT IS SHOWN HEREON, AND IS RESPONSIBLE FOR CORRECTING ANY DAMAGE TO SAID FACILITIES.
- LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (800-227-2500) TO OBTAIN A U.S.A. IDENTIFICATION NUMBER AND HAVE EXISTING UTILITIES LOCATED.  
CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING UTILITIES.
- "CITY ENGINEER" SHALL MEAN THE CITY ENGINEER OR HIS/HER AUTHORIZED AGENT ACTING WITHIN THE SCOPE OF HIS/HER AUTHORITY.
- THE CONTRACTOR/DEVELOPER SHALL TELEPHONE THE CITY OF BRENTWOOD BUILDING DEPARTMENT, 925-516-5405, AT LEAST TWO (2) WORKING DAYS PRIOR TO STARTING CONSTRUCTION WORK.
- THE CONTRACTOR/DEVELOPER SHALL CALL 925-516-5405 TO SCHEDULE A PRECONSTRUCTION CONFERENCE AT THE JOB SITE WITH THE CITY, DEVELOPER, SUBCONTRACTOR AND OTHER AFFECTED AGENCIES AT LEAST TWO (2) WORKING DAYS PRIOR TO STARTING ANY CONSTRUCTION WORK.
- TRAFFIC CONTROL SHALL BE PROVIDED IN CONFORMANCE WITH THE LATEST EDITION OF THE "MANUAL OF TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE WORK ZONES" ISSUED BY THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION AND AS REQUIRED BY THE CITY ENGINEER AND APPROVED BY THE CITY ENGINEER.
- IF ANY CULTURAL FEATURES OR ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING, OR OTHER EXCAVATION WORK, ALL WORK WITHIN ONE HUNDRED FEET (100') OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHEOLOGIST CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHEOLOGISTS (SCA) AND/OR THE SOCIETY OF CALIFORNIA ARCHEOLOGY (SCA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND APPROPRIATE MITIGATION MEASURES ARE DETERMINED AND IMPLEMENTED.
- REGULAR HOURS OF WORK WILL BE LIMITED TO 7:00 A.M. TO 3:30 P.M., MONDAY THROUGH FRIDAY. THE OWNER OR DEVELOPER MUST SUBMIT A WRITTEN REQUEST FOR APPROVAL BY THE CITY ENGINEER AT LEAST TWO (2) WORKING DAYS IN ADVANCE TO WORK DURING ANY OTHER HOURS, WEEKENDS, OR HOLIDAYS.  
THE FOLLOWING SPECIAL HOURS OF WORK WILL BE ENFORCED FROM MONDAY THROUGH FRIDAY:  
A. WORK AFFECTING TRAFFIC ON BALFOUR ROAD, BRENTWOOD BOULEVARD, FAIRVIEW AVENUE, LONE TREE WAY, SAND CREEK ROAD, CENTRAL BOULEVARD OR WALNUT BOULEVARD WILL BE LIMITED TO 8:30 A.M. TO 2:30 P.M.  
B. WORK ADJACENT TO OR WITHIN FIFTEEN HUNDRED FEET (1500') OF ANY SCHOOL WHILE THE SCHOOL IS IN SESSION WILL BE LIMITED TO 8:30 A.M. TO 2:30 P.M.  
C. WORK WITHIN THREE HUNDRED FEET (300') OF OCCUPIED RESIDENTIAL UNITS AND NOT AFFECTING BALFOUR ROAD, BRENTWOOD BOULEVARD, FAIRVIEW AVENUE, LONE TREE WAY OR WALNUT BOULEVARD SOUTH OF BALFOUR ROAD WILL BE LIMITED TO 8:30 A.M. TO 4:30 P.M.  
D. WORK IN EXCESS OF THREE HUNDRED FEET (300') FROM OCCUPIED RESIDENTIAL UNITS AND NOT AFFECTING BALFOUR ROAD, BRENTWOOD BOULEVARD, FAIRVIEW AVENUE, LONE TREE WAY OR WALNUT BOULEVARD SOUTH OF BALFOUR ROAD, WILL BE LIMITED TO 7:00 A.M. TO 5:00 P.M.  
E. ALL SATURDAY WORK SHALL BE RESTRICTED TO 9:00 A.M. TO 5:00 P.M.
- CONTRACTOR'S OPERATIONS SHALL CONFORM TO THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO TRENCHES AND EXCAVATIONS.
- CONTRACTOR SHALL PROVIDE AT LEAST TWO (2) WORKING DAYS ADVANCE NOTICE TO THE CITY ENGINEER PRIOR TO CONNECTING TO EXISTING WATER FACILITIES. THE MANIPULATION OF EXISTING VALVES SHALL BE DONE UNDER THE DIRECTION OF THE CITY PUBLIC WORKS, WATER DIVISION PERSONNEL.
- THE INSTALLATION OF EROSION CONTROL FACILITIES AND MEASURES IS NECESSARY AT ALL TIMES. (EROSION CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEER.)
- MAILBOXES SHALL BE INSTALLED IN LOCATIONS APPROVED BY THE LOCAL POSTMASTER AND PER CITY OF BRENTWOOD STANDARD PLANS.
- ALL DRIVEWAY LOCATIONS AND WIDTHS ARE APPROVED BASED ON THE INFORMATION PROVIDED BY THE DEVELOPER/OWNER. IF THERE IS A REQUIRED CHANGE IN THE FLOOR PLAN, THE DEVELOPER/OWNER SHALL WIDEN OR RELOCATE THE DRIVEWAY SOLELY AT HIS/HER OWN COST.
- IF DRIVEWAY DEPRESSIONS ARE MADE IN ANY CURB, DRIVEWAY APPROACHES ARE THEN CONSIDERED TO BE PART OF THE IMPROVEMENT PLAN AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRENTWOOD STANDARD PLANS.
- MONUMENTS ARE TO BE SET AS SHOWN ON THE PLANS AND PER THE REQUIREMENTS OF THE SUBDIVISION MAP ACT, LAND SURVEYORS ACT, AND THE CITY SUBDIVISION ORDINANCE AND SHALL BE IN ACCORDANCE WITH THE RULES AND PROCEDURES APPROVED BY THE COUNTY SURVEYOR.  
ALL LOT CORNERS AND TRACT BOUNDARIES SHALL BE LOCATED AND MONUMENTED IN ACCORDANCE WITH THE RECORDED TRACT MAP. THE PROJECT CIVIL ENGINEER SHALL SUBMIT A WRITTEN CERTIFICATION TO THE CITY ENGINEER.
- TREES SHALL NOT BE PLANTED WITHIN THE CITY OF BRENTWOOD RIGHT-OF-WAY UNLESS A PERMIT HAS BEEN OBTAINED FROM THE PARKS AND RECREATION DEPARTMENT, OR IF THE TREES ARE PLANTED IN ACCORDANCE WITH A LANDSCAPE PLAN APPROVED BY THE CITY ENGINEER AND THE PARKS AND RECREATION DIRECTOR.
- JOINTS BETWEEN NEW PAVEMENT AND EXISTING PAVEMENT SHALL BE MADE BY SAW-CUTTING EXISTING PAVEMENT TO EFFECT A NEAT BUTT JOINT AS DEPICTED ON THE CITY STANDARD PLANS. FEATHERING NEW ASPHALT PAVING OVER EXISTING PAVEMENT IS NOT ALLOWED.
- THE CONTRACTOR SHALL NOTIFY THE CONTRA COSTA FLOOD CONTROL DISTRICT AND EAST CONTRA COSTA IRRIGATION DISTRICT PRIOR TO STARTING WORK NEAR DISTRICT'S FACILITIES AND SHALL COORDINATE ALL WORK WITH DISTRICT'S REPRESENTATIVES.
- LOCATION AND HEIGHT OF ALL RETAINING WALLS SHALL BE SHOWN ON THESE PLANS. RETAINING WALLS HIGHER THAN ONE FOOT (1') SHALL BE STRUCTURALLY DESIGNED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION (SEE STANDARD PLANS G-3A, G-3B, G-4A AND G-4B FOR DETAILS).
- IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT/ENGINEER TO CONTACT THE VARIOUS UTILITY AGENCIES, ADVISE THE AGENCIES OF THE PROPOSED IMPROVEMENTS, AND PAY FOR THE COST OF RELOCATION, IF NEEDED.
- NO FINAL PAVING SHALL BE DONE UNTIL EXISTING POWER POLES AND OTHER EXISTING FACILITIES, ARE RELOCATED OUTSIDE THE AREAS TO BE PAVED.
- SUBGRADE FOR ALL STREET, CURB AND GUTTER, AND CONCRETE FLATWORK SHALL BE COMPACTED TO NINETY-FIVE PERCENT (95%) RELATIVE COMPACTION.
- ALL UNDERGROUND UTILITIES SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF BASE/ROCK UNLESS APPROVED BY THE CITY ENGINEER.
- ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC UNLESS SPECIFICALLY CALLED OUT AS PAINT. NO PERMANENT MARKINGS SHALL BE PLACED UNTIL THE CITY TRAFFIC ENGINEER, CITY ENGINEER OR HIS/HER REPRESENTATIVE APPROVES CAT TRACKING IN THE FILL.
- BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED AT EACH FIRE HYDRANT LOCATION AS SHOWN ON THE CITY OF BRENTWOOD STANDARD PLANS.
- ALL TRAFFIC SIGNS AND STREET NAME SIGNS SHALL BE HIGHLY REFLECTIVE GRADE MATERIALS.
- THE IMPROVEMENT PLANS SHALL REFLECT THAT ALL ON-SITE/OFF-SITE STORM DRAIN INLETS SHALL BE "NO DUMPING DRAINS TO CREEK" STENCILED, USING A TWO-STEP THERMOPLASTIC ON THE FACE OF THE CURB ADJACENT TO THE INLET.  
THE PROJECT PLANS SHALL ALSO INCLUDE EROSION CONTROL MEASURES TO PREVENT SOIL, DIRT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM, IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) EROSION AND SEDIMENT CONTROL HANDBOOK.
- PRIOR TO THE PLACEMENT OF CONCRETE THE CITY ENGINEER MUST APPROVE FORMS FOR CURBS, GUTTERS AND SIDEWALKS.
- ALL STORM DRAIN STRUCTURES SHALL BE CONSTRUCTED TO CITY OF BRENTWOOD STANDARDS (WITH WEEP HOLES AT SUBGRADE ELEVATION) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REVIEW THE CURRENT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PROVIDED BY THE OWNER. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY FOR CONDUCTING HIS/HER OPERATIONS IN ADHERENCE TO THE SWPPP. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES, DELAYS, AND/OR DAMAGE RESULTING FROM ANY STATE WATER QUALITY CONTROL BOARD SANCTIONS CAUSED BY THE OPERATION OF THE CONTRACTOR OR HIS/HER SUBCONTRACTORS.
- MINIMUM SERVICE LINE SIZES TO DRINKING FOUNTAINS SHALL BE ONE INCH (1"). SERVICE LINES IN SIZES UP TO AND INCLUDING TWO INCHES (2") SHALL BE TYPE K SOFT COPPER TUBING. ZINC ANODES SHALL BE PROVIDED AND INSTALLED AT THE LOCATIONS SHOWN ON THE CITY OF BRENTWOOD STANDARD PLANS.
- COVER REQUIREMENTS: WATER MAINS AND SERVICES SHALL BE INSTALLED AT A DEPTH WHICH WILL PROVIDE A MINIMUM OF THIRTY-SIX INCHES (36") COVER FROM THE TOP OF THE PIPE TO THE SUBGRADE. IN CASE OF UTILITY CONFLICT IN WHICH THE WATER MAIN IS REQUIRED TO GO OVER ANOTHER UTILITY, CITY STANDARD PLAN W-14, "CONCRETE CAP OVER WATER MAIN," APPLIES.

### GRADING AND DRAINAGE NOTES

- THE CONTRACTOR SHALL BRING GRADES TO WITHIN ONE-TENTH OF ONE FOOT (0.1') OF FINAL GRADES AND OBTAIN GRADE CERTIFICATION PRIOR TO PLACEMENT OF ANY HARDSCAPE, IRRIGATION PIPING, STORM DRAIN PIPING OR PLANTING. CERTIFICATION LETTER SHALL BE SUBMITTED TO CITY INSPECTOR.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT AND SUPPLEMENTED BY THE SPECIFIC GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY OF ANY DIFFERENCES IN TOPOGRAPHY FROM THAT SHOWN ON THIS PLAN WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR EFFECT THE EARTHWORK QUANTITY.
- CUT/FILL BALANCE: IF THE SITE GRADING GENERATES EXCESS MATERIAL, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR POSSIBLE ONSITE ADJUSTMENT OF GRADE. IF GRADES CANNOT BE ADJUSTED ONSITE, EXCESS MATERIALS SHALL BE DISPOSED OFFSITE AT THE CONTRACTOR'S EXPENSE. ALL GRADE ADJUSTMENTS SHALL BE APPROVED BY CITY ENGINEER.  
IF THE SITE REQUIRES EXCESS FILL MATERIAL, THE OWNER SHALL FURNISH FILL MATERIAL AS REQUIRED FOR THE SITE. THE CONTRACTOR SHALL SPREAD THE MATERIAL AS NECESSARY TO ACHIEVE THE LINES AND GRADES SHOWN ON THE DRAWINGS AT NO ADDITIONAL COST TO THE OWNER.
- ACCEPTABLE MATERIAL: MATERIAL ACCEPTABLE FOR USE IN FILLS, EMBANKMENTS, BACKFILL, OR OTHER USES AS DIRECTED SHALL BE SUITABLE FOR COMPACTION, HAVE NO CEMENTED LUMPS AND/OR ROCKS LARGER THAN 3 INCHES (3") IN GREATEST DIMENSION. ALL FILL MATERIAL SHALL BE SUBJECT TO "COMPLETE ANALYSIS" TESTING FOR UNACCEPTABLE COMPONENTS SUCH AS HEAVY METAL, HERBICIDES, NITRATES, BORON, HYDROCARBONS, ETC. PH RANGE TO BE BETWEEN 6.5 - 7.5.  
IT SHALL BE FREE OF TOPSOIL, ORGANIC AND OTHER DELETERIOUS SUBSTANCES WHICH MIGHT BE HARMFUL TO PLANT GROWTH. SEE PLANTING NOTES FOR ADDITIONAL REQUIREMENTS FOR IMPORT SOIL WITHIN THE ROOT AREA OF LANDSCAPE PLANTING.
- FOR PUBLICLY MAINTAINED PIPES THE MINIMUM PIPE SLOPE FOR ANY STORM DRAINPIPE SHALL BE 0.2% MINIMUM DEPTHS SHALL BE TWO FEET (2') BELOW STREET SUBGRADE. MAXIMUM MANHOLE SPACING SHALL BE THREE HUNDRED FEET (300'). THE CITY ENGINEER SHALL APPROVE ANY DEVIATION FROM THESE MINIMUM ALLOWED CRITERIA.
- ALLOWABLE SEWER PIPE MATERIALS: ONLY VITRIFIED CLAY, SDR 35, AND DUCTILE IRON PIPE WILL BE ALLOWED. REFER TO SECTION 71, "SEWERS," AND SECTION 76, "STORM DRAIN FACILITIES," OF THE STANDARD PLANS AND SPECIFICATIONS.
- PREPARATION: FOR AREAS TO RECEIVE FILL, ALL LOOSE SURFACE SOILS, EXISTING FILL AND VEGETATION SHOULD BE STRIPPED TO EXPOSE COMPACTED SUBGRADE.
- ALL EXPLORATORY TRENCHES AND PITS SHALL BE EXCAVATED AND RECOMPACTED, UNDER THE TESTING AND OBSERVATION OF THE GEOTECHNICAL ENGINEER.
- TRENCH BACKFILL: TRENCH BACKFILL SHALL COMPLY WITH THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER. PIPE ZONE BACKFILL (MATERIAL BENEATH AND IMMEDIATELY SURROUNDING PIPE) SHALL CONSIST OF A WELL-GRADED IMPORT OR NATIVE MATERIAL LESS THAN THREE-QUARTER INCH (3/4") MAXIMUM DIMENSION COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED FOR FILL COMPACTION.  
TRENCH ZONE BACKFILL (MATERIAL PLACED BETWEEN THE PIPE ZONE BACKFILL AND THE GROUND SURFACE) SHALL CONSIST OF NATIVE SOIL COMPACTED IN ACCORDANCE WITH RECOMMENDATIONS FOR FILL COMPACTION. WHERE IMPORT MATERIAL IS USED FOR PIPE ZONE BACKFILL, IT SHALL CONSIST OF FINE TO MEDIUM GRAINED SAND OR WELL GRADED SAND AND GRAVEL AND THIS MATERIAL SHALL NOT BE USED WITHIN TWO FEET (2') OF FINISH GRADE.  
UNIFORMLY GRADED GRAVEL SHOULD NOT BE USED FOR PIPE OR TRENCH ZONE BACKFILL. UTILITY TRENCHES ENTERING PAVED AREAS MUST BE PROVIDED WITH AN IMPERVIOUS SEAL CONSISTING OF NATIVE MATERIALS OR CONCRETE WHERE THE TRENCHES PASS UNDER PAVEMENT, EXTENDING AT LEAST THREE FEET (3') EITHER SIDE OF THE CROSSING.
- GRADES, LINES AND LEVELS: ALL ELEVATIONS SHOWN ON THE DRAWINGS ARE FINISH GRADE UNLESS OTHERWISE NOTED. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN TOP AND TOE OF SLOPES. FINISH GRADE SHALL BE A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. ADJUSTMENTS OF FINISH GRADES SHALL BE MADE AT THE DIRECTION OF THE CITY INSPECTOR IF REQUIRED.
- SURFACE DRAINAGE SHALL BE DIRECTED AS INDICATED ON THE DRAWINGS AND SHALL DIRECT WATER TO STREET CURBS, SWALES, OR EXISTING DRAINAGE STRUCTURES. SURFACES SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER AND SHALL CONFORM TO THE INTENT OF THE DRAWINGS AFTER THOROUGH SETTLEMENT AND COMPACTION OF THE SOILS.  
LOW SPOTS AND POCKETS SHALL BE GRADED TO DRAIN PROPERLY. SLOPES SHALL BE AS FOLLOWS, UNLESS OTHERWISE SHOWN ON THE PLANS:  
PAVEMENT - 1.5% MINIMUM, 4.9% MAXIMUM  
PLANTING AREAS - 2% MINIMUM, 2:1 MAXIMUM
- THE OWNER SHALL BE RESPONSIBLE FOR LOCATING CONTROL POINTS AND BENCH MARKS. THE CONTRACTOR SHALL ESTABLISH ANY CONSTRUCTION STAKES NECESSARY TO ESTABLISH ALL LINES AND GRADES REQUIRED FOR THE COMPLETE LAYOUT AND EXECUTION OF THE WORK. SURVEYING SHALL BE PERFORMED USING A LASER TRANSIT OR METHOD APPROVED BY CITY REPRESENTATIVE. ALL BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS SHALL BE CAREFULLY MAINTAINED AND PROTECTED.
- ALL ABANDONED UNDERGROUND PIPELINES EXPOSED DURING GRADING SHALL BE REMOVED FROM PROPOSED RIGHT-OF-WAY, BUILDING SITES AND PARK SITES AND SHALL BE BACKFILLED AND PROPERLY COMPACT THESE AREAS TO THE APPROVAL OF THE CITY ENGINEER.
- PROTECTION OF PERSONS AND PROPERTY: BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND POST WITH WARNING LIGHTS. PROTECT EXISTING STRUCTURES, UTILITIES, PAVEMENT FENCES, PLANTING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY GRADING OPERATIONS.
- EXCAVATIONS: ALL EXCAVATIONS SHALL BE MADE TRUE TO THE GRADES AND ELEVATIONS SHOWN ON THE PLANS. THE EXCAVATED SURFACES SHALL BE PROPERLY GRADED TO PROVIDE GOOD DRAINAGE DURING CONSTRUCTION.
- STABILITY OF EXCAVATIONS: SEE CONSTRUCTION NOTES.
- DEWATERING: PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS OR TRENCHES AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. ESTABLISH TEMPORARY DRAINAGE DITCHES AS REQUIRED.
- MATERIAL STORAGE: STOCKPILE SATISFACTORY EXCAVATED MATERIALS UNTIL REQUIRED FOR BACKFILL OR FILL PLACE, GRADE AND SHAPE STOCKPILES FOR PROPER DRAINAGE AND TO PREVENT EROSION. COVER AS NECESSARY TO PREVENT DUST. STOCKPILED MATERIALS ARE NOT TO EXCEED SIX FEET (6') IN HEIGHT AND SHALL BE A MINIMUM OF FIFTY FEET (50') FROM ANY BASIN INLET.
- GRADE CERTIFICATION: OWNER/CONTRACTOR WILL OBTAIN GRADE CERTIFICATION FROM SUPERVISOR/ENGINEER FOR ALL HARDSCAPE, IMPROVEMENTS PRIOR TO CONSTRUCTION/PLACEMENT OF HARD SURFACES.
- SCARIFICATION: PRIOR TO FINISH GRADING, ALL LANDSCAPE AREAS SHALL BE RIPPED AND SCARIFIED TO A MINIMUM TEN INCH (10") DEPTH IN FOUR DIRECTIONS, USING TRACK LAYING OR RUBBER TIED VEHICLES EQUIPPED WITH SUITABLE RIPPING TEETH SPACED NOT MORE THAN 15 INCHES (15") APART ACROSS THE FULL WIDTH OF THE WHEEL BASE.
- MAINTENANCE: PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION. KEEP FREE OF TRASH AND DEBRIS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS. WHERE SETTLING IS MEASURABLE OR OBSERVABLE AT EXCAVATED AREAS DURING GENERAL PROJECT WARRANTY PERIOD, REMOVE SURFACE (PAVEMENT, LAWN OR OTHER FINISH), ADD BACKFILL MATERIAL, COMPACT AND REPLACE SURFACE TREATMENT.  
RESTORE APPEARANCE, QUALITY AND CONDITION OF SURFACE OR FINISHES TO MATCH ADJACENT WORK AND ELIMINATE EVIDENCE OF RESTORATION TO GREATEST EXTENT POSSIBLE.
- CLEANUP: THE CONTRACTOR SHALL DISPOSE OF UNACCEPTABLE SOIL AND EXCAVATED MATERIAL, TRASH AND DEBRIS OUTSIDE THE LIMITS OF THE PROPERTY IN A LEGAL MANNER AT NO ADDITIONAL COST TO THE OWNER. LOCATION OF DUMP AND LENGTH OF HAUL SHALL BE THE CONTRACTOR'S RESPONSIBILITY.



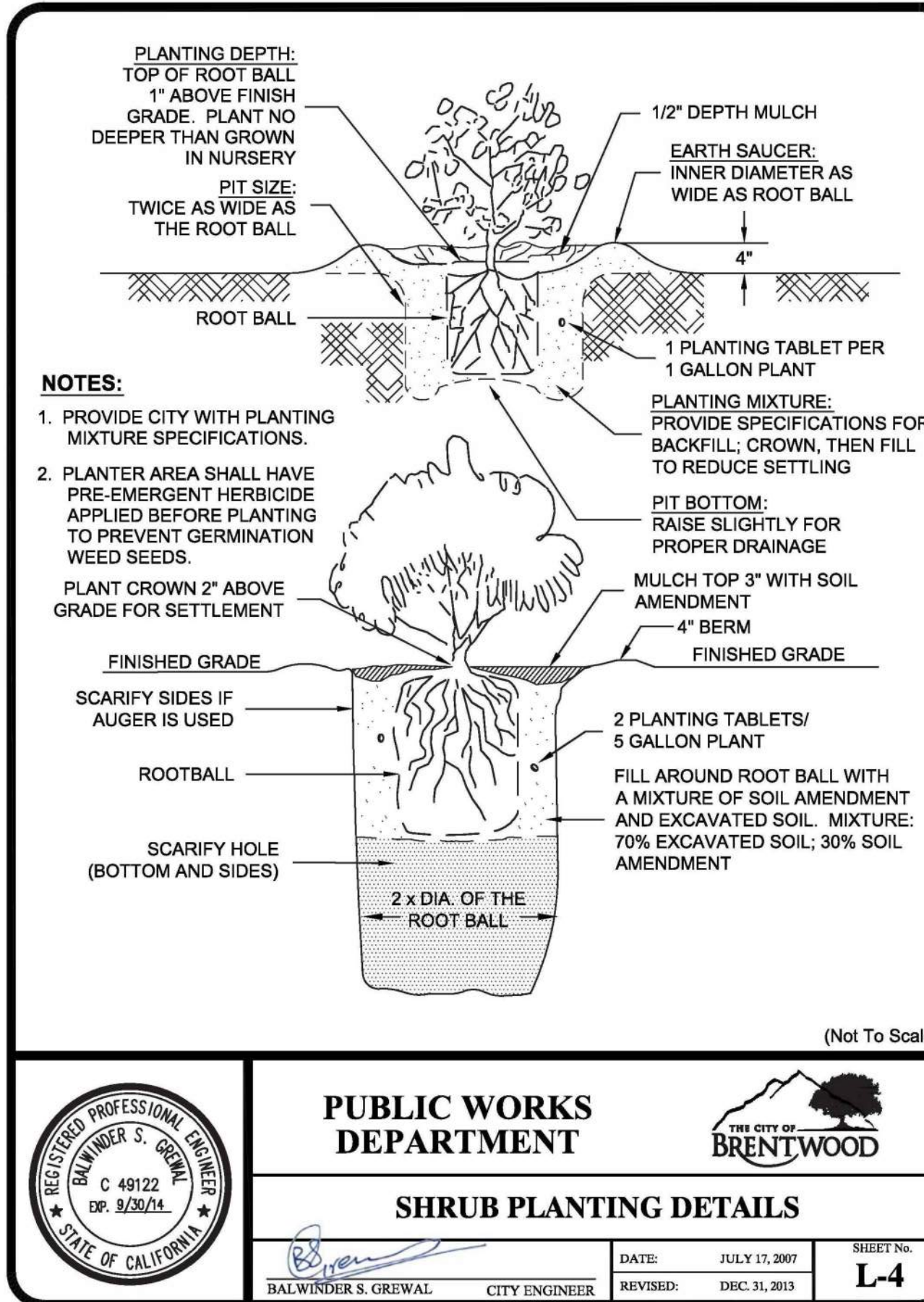
**PUBLIC WORKS DEPARTMENT**

**TREE PLANTING**

DATE: APRIL 16, 2008  
REVISED: DEC. 31, 2013

CITY ENGINEER: BALWINDER S. GREWAL

SHEET NO. L-1



**PUBLIC WORKS DEPARTMENT**

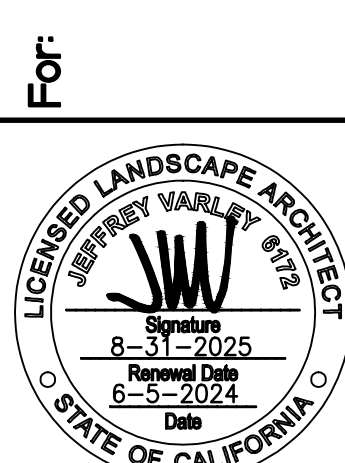
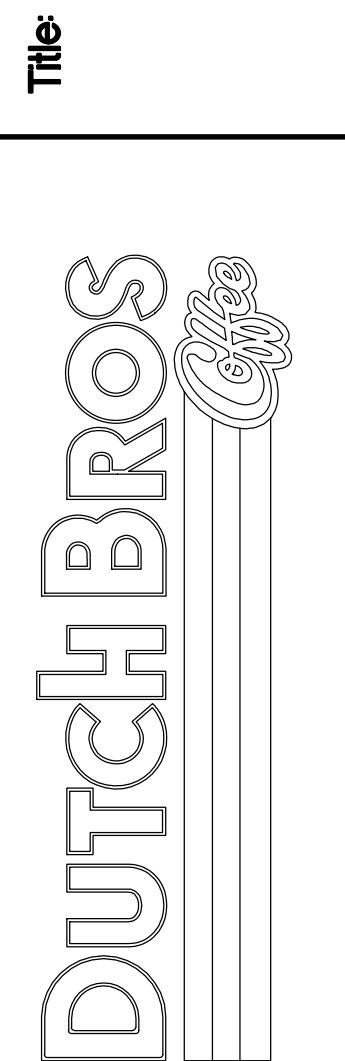
**SHRUB PLANTING DETAILS**

DATE: JULY 12, 2007  
REVISED: DEC. 31, 2013

CITY ENGINEER: BALWINDER S. GREWAL

SHEET NO. L-4

LANDSCAPE PLANTING NOTES  
2345 SAND CREEK RD  
BRENTWOOD, CA



Scale:	Horizontal	N/A	Vertical	N/A
Designed	Drawn	Checked	Approved	Date

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Job Number: 28021  
Sheet: LP-2 of 3  
2019 DB  
Framing USA, LLC

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# DUTCH BROS. COFFEE - CA2606, BRENTWOOD, CA

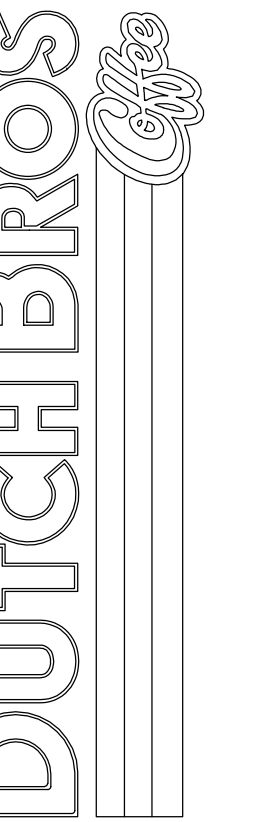
## LANDSCAPE PLANTING NOTES

### PLANTING NOTES

1. NO PLANTING SHALL BE INSTALLED UNTIL:
    - A. THE BACKFLOW PREVENTION DEVICE IS CERTIFIED BY A CITY APPROVED BACKFLOW INSPECTOR.
    - B. A HYDROSTATIC PRESSURE TEST ON IRRIGATION MAINS AND LATERALS IS PERFORMED.
    - C. IRRIGATION CONTROLLER SHALL BE FULLY OPERATIONAL AND CONNECTED TO FINAL ELECTRICAL SOURCE AND PHONE LINE OR OTHER COMMUNICATION AND SHALL BE ABLE TO COMMUNICATE WITH CENTRAL IRRIGATION COMPUTER.
    - D. SOIL HAS BEEN AMENDED.
    - E. 14-DAY WATERING PERIOD HAS BEEN COMPLETED.
  2. ALL PLANTING SHALL CONFORM TO THE CITY OF BRENTWOOD STANDARDS. TREE SPECIES SHALL CONFORM TO THE CITY OF BRENTWOOD URBAN FOREST GUIDELINES.
  3. ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANT FOREMAN.
  4. CONTRACTOR SHALL PROVIDE 1-YEAR GUARANTEE ON TREE AND SHRUBS FROM DATE OF ACCEPTANCE BY CITY COUNCIL.  
REPLACEMENT VEGETATION TO BE SIMILAR IN SIZE TO EXISTING VEGETATION
  5. CONTRACTOR SHALL INSPECT AND BE FAMILIAR WITH SITE CONDITIONS. ANY DISCREPANCIES WHICH EXIST BETWEEN OBSERVED SITE CONDITIONS AND THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
  6. PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC, UNLESS OTHERWISE NOTED, AND ARE SUBJECT TO CHANGE IN THE FIELD BY THE OWNER'S REPRESENTATIVE. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AFTER CONSULTING WITH THE LANDSCAPE ARCHITECT, AND IF APPROVED BY THE CITY OF BRENTWOOD, WHILE WORK IS IN PROGRESS.
  7. CONTRACTOR SHALL PROVIDE A CITY APPROVED ROOT BARRIER FOR ALL TREES PLANTED WITHIN FIVE FEET (5') OF CURB OR PAVING, PER CITY OF BRENTWOOD DETAIL. INSTALL LINEAL PANELS PARALLEL AND ADJACENT TO EDGE OF PAVEMENT, 12' TOTAL LENGTH, 6' ON EITHER SIDE OF TREE. SEE CITY DETAIL L-3.
  8. PLANTING AREAS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF THREE FEET (3') OR DOWN TO NATIVE SOIL IN AREAS WHERE CONSTRUCTION HAS PREVIOUSLY OCCURRED SUCH AS IN MEDIANS AND PARKING LOTS, ESPECIALLY IF ROAD BASE WAS INSTALLED IN THE PLANTING LOCATION. ALL ROAD BASE WILL BE REMOVED AT CONTRACTOR'S EXPENSE.
- SOIL PREPARATION:**
9. ALL CONSTRUCTION MATERIAL AND DEBRIS SHALL BE REMOVED PRIOR TO SOIL PREPARATION.
  10. CITY SHALL COLLECT SOIL SAMPLES FROM POST-GRADED LANDSCAPE AREAS FOR ANALYSIS BY APPROVED TESTING LABORATORY. CONTRACTOR SHALL COORDINATE AND PAY FOR TESTS. SOIL SAMPLES SHALL BE TAKEN AT APPROXIMATELY SIX (6") DEPTHS AS PER THE CITY OF BRENTWOOD.
  11. SOIL TEST/RECOMMENDATION RESULTS SHALL BE DISTRIBUTED BY THE CONTRACTOR TO THE CITY, OWNER, LANDSCAPE ARCHITECT AND PROJECT HORTICULTURALIST.
  12. A REVISED SOIL AMENDMENT AND PLANT PIT BACKFILL SPECIFICATION SHALL BE DEVELOPED BY THE CITY STAFF IN COOPERATION WITH LANDSCAPE ARCHITECT AND HORTICULTURIST BASED ON SOILS TEST. CONTRACT ADJUSTMENT MAY BE REQUIRED AS A RESULT OF SOILS TEST.
  13. PLANT SPECIES LIST SHALL BE EVALUATED BY HORTICULTURIST IN TERMS OF APPROPRIATENESS TO THE SOILS TEST AND SHALL BE REVISED ACCORDINGLY TO LEVELS OF BORON OR SODIUM PRESENT IN THE SOILS.
  14. SOIL AMENDMENTS SHALL MEET CITY STANDARDS AND SPECIFICATIONS, AND SHALL CONFORM TO THE RECOMMENDATIONS OF THE SOILS REPORT.
  15. CONTRACTOR SHALL PAY FOR SUBSEQUENT POST-AMENDMENT SOIL TESTING AS DIRECTED BY THE CITY PRIOR TO PLANTING TO VERIFY COMPLIANCE OF RECOMMENDATIONS.
  16. THE FOLLOWING RECOMMENDATIONS ARE FOR BID PURPOSES ONLY. CONTRACTOR SHALL FOLLOW RECOMMENDATIONS OF SOIL TESTING LAB.  
FOR ALL PLANTING AREAS:
    1. TILL SOIL THOROUGHLY TO 8" DEPTH.
    2. INCORPORATE THE FOLLOWING MATERIAL INTO SOIL PER 1000 SQ. FT.
      - SIX CUBIC YARDS NITROGEN FORTIFIED ORGANIC AMENDMENT
  17. SPECIFICATIONS AND SAMPLE OF NITROGEN FORTIFIED ORGANIC AMENDMENT SHALL BE SUBMITTED TO CITY FOR APPROVAL PRIOR TO USE.
  18. AMENDMENTS SHALL BE ADDED WHEN GRADING IS AT PLUS OR MINUS 1/10 FOOT OF FINISH GRADE.
  19. CITY SHALL BE NOTIFIED 3 DAYS PRIOR TO AMENDING OR FERTILIZING PLANTING AREAS FOR INSPECTION DURING WORK.
- FOR TREES AND SHRUBS:**
20. ALL TREES PLANTING HOLES SHALL BE SCARIFIED ON SIDES AND BOTTOM TO REMOVE AND GLAZING.
  21. DRAIN TUBES, AS PER CITY OF BRENTWOOD STANDARD DETAIL L-1, MAY NOT BE NECESSARY. CONSULT SOILS REPORT FOR SUITABILITY OF SOIL.
  22. NO PLANTING OR HARDSCAPE WILL BE INSTALLED UNTIL GRADE IS CERTIFIED TO BE WITHIN PLUS OR MINUS 1/10 FOOT OF FINISH GRADE. FINISH GRADE WILL BE CERTIFIED AT CONTRACTOR'S EXPENSE.
  23. FOR 24-INCH BOX AND LARGER MATERIAL, PLANT PIT BACKFILL TO BE PLACED AROUND THE SIDES OF THE ROOTBALL BELOW A ONE FOOT (1') DEPTH SHOULD NOT CONTAIN THE ORGANIC AMENDMENT BUT SHOULD BE NUTRITIONALLY IMPROVED BY BLENDING 2 POUNDS GYPSUM PER CUBIC YARD OF PULVERIZED SITE SOIL.
  24. SOIL AMENDED ON THE SITE OR THE FOLLOWING BACKFILL MIX IS RECOMMENDED FOR PLACEMENT AS THE TOP 12 INCHES (12") OF BACKFILL AROUND THE SIDES OF THE ROOTBALL FOR CONTAINER GROWN PLANTS:
    - 2 PARTS PULVERIZED SITE SOIL
    - 1 PART ORGANIC AMENDMENT
    - 2 POUNDS GYPSUM PER CUBIC YARD OF BACKFILL MIX
  25. ALL PLANT MATERIAL TO BE INSPECTED BY CITY PRIOR TO INSTALLATION. NOTIFY CITY TWO (2) WORKING DAYS PRIOR TO INSPECTION.
  26. CITY HAS THE RIGHT TO REJECT PLANT MATERIAL IF IT DOES NOT MEET MINIMUM PLANT SIZE REQUIREMENTS. ALL PLANT MATERIAL MUST BE IN HEALTHY CONDITION AND WITHOUT KINKED, GIRDLED OR ENCIKLING ROOTS.
  27. APPLY PRE-EMERGENT HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS TO ALL GROUND COVER AND NON-PLANTED AREAS PRIOR TO SAND AND BARK INSTALLATIONS. CONTACT CITY 24 HOURS PRIOR TO APPLICATION. AREAS SHALL BE WATERED-IN IMMEDIATELY AFTER APPLICATION.
  28. FERTILIZER TABLETS SHALL BE BEST PAKS (20-10-5) TABLETS INSTALLED AT MANUFACTURER'S RECOMMENDED RATES UNDER ALL TREES AND SHRUBS.
  29. FERTILIZER SHALL BE CITY APPROVED PRODUCT, AT A RECOMMENDED RATE BASED ON SOILS ANALYSIS.
  30. REFER TO CITY OF BRENTWOOD STANDARD DETAILS L-1, L-2, L-4 FOR TREE AND SHRUB PLANTING AND GROUND COVER SPACING. LODGE POLES WITH FOUR TIES SHALL BE USED ON ALL PARK PROJECTS.
  31. STREET TREE PLANTING SHALL NOT INTERFERE WITH CITY OF BRENTWOOD REQUIRED LINE OF SIGHTS. REFER TO CITY OF BRENTWOOD STANDARD DETAIL ST-11 FOR NECESSARY CLEARANCES.
  32. MINIMUM CONTAINER PLANT SIZE:
    - 1 GALLON SHRUB: 1' HEIGHT X 1' DIAMETER
    - 5 GALLON SHRUB: 1-1/2' HEIGHT X 1-1/2' DIAMETER
    - 15 GALLON TREE: 6' HEIGHT X 4' CROWN DIAMETER
    - 24" BOX TREE: 8' HEIGHT X 5' CROWN DIAMETER
  33. FOR TREES WITH SELF-SUPPORTING CENTRAL LEADERS, REMOVE NURSERY STAKES AT TIME OF PLANTING. FOR TREES WITHOUT SELF-SUPPORTING CENTRAL LEADERS OR FLOPPY CROWNS, RETAIN NURSERY STAKE FOR A 3 MONTH PERIOD OR AT THE END OF THE MAINTENANCE PERIOD, WHICHEVER IS SHORTER.
  34. MULCH PLANTING AREAS WITH A 3" LAYER OF 1/2"-3/4" DIAMETER "WALK-ON" TYPE FIR BARK MULCH. DO NOT ALLOW BARK MULCH TO COME WITHIN 2" OF THE PLANT'S PARENT TRUNK. TREE WELLS IN TURF OR GROUND COVER SHALL BE 36" IN DIAMETER AND FREE OF VEGETATION.
  35. REAPPLY PRE-EMERGENT HERBICIDE AT END OF MAINTENANCE PERIOD.
  36. TREES SHALL MAINTAIN THE FOLLOWING CLEARANCES FROM UTILITIES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE OR REQUIRED BY THE CITY OF BRENTWOOD:
    - STOP SIGNS, STREET SIGNS AND DIRECTIONAL SIGNAGE-35'
    - LIGHT STANDARDS (STREET AND PARK)-20'
    - PROPERTY LINE, FENCES/WALLS-10'
    - SANITARY SEWER MAINS/LATERALS, WATER MAINS, POWER MAIN CONDUIT-5'
    - WATER AND POWER LATERALS, TELEPHONE, GAS, STORM DRAIN LINES-5'
 TREES PLANTED WITHIN 15' OF PROPERTY LINES SHALL BE COMPACT VARIETIES, TREES PLANTED CLOSER THAN 10' FROM STREETS OR SIDEWALKS SHALL ALSO BE COMPACT, SMALL VARIETIES.
  37. IF TREES ARE PLANTED WITHIN 10' OF SOUNDWALLS OR PROPERTY LINES, A 36" DEEP X 12" LONG ROOT BARRIER SHALL BE INSTALLED AT PROPERTY LINE AND OR AT THE BASE OF SOUNDWALL.
  38. CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL HYDROSEED AND HYDROSOD AREAS BE FULLY GERMINATED AND FREE OF ALL BARE SPOTS AND WEEDS. CONTRACTOR SHALL PROVIDE SUPPLEMENTAL WATER IN ORDER TO ESTABLISH A FULL STAND.
  39. HYDROSEED AREAS SHALL RECEIVE SEASONAL MOWINGS, AT THE DIRECTION OF THE FIRE MARSHALL OF THE CITY OF BRENTWOOD FIRE DEPARTMENT.

LANDSCAPE PLANTING NOTES  
2345 SAND CREEK RD  
BRENTWOOD, CA

Title:



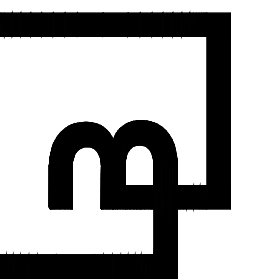
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Date \_\_\_\_\_

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