

171 KAYLA PLACE RESIDENCE

RECEIVED
September 23, 2024

171 KAYLA PLACE BRENTWOOD CA 94513
PARCEL #: 016-010-005



8. ABBREVIATIONS

| | |
|--------|-------------------------------|
| ADA | AMERICANS W/ DISABILITIES ACT |
| ADD'L | ADDITIONAL |
| ARCH | ARCHITECT OR ARCHITECTURAL |
| BLK'G | BLOCKING |
| BOT | BOTTOM |
| CAB | CABINET |
| CLG | CEILING |
| CLR | CLEAR |
| CLO | CLOSET |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| D | DRYER |
| DBL | DOUBLE |
| DET | DETAIL |
| DIA | DIAMETER |
| (E) | EXISTING |
| ELEV | ELEVATION |
| EA | EACH |
| EQ | EQUAL |
| EXT | EXTERIOR |
| FFL | FINISH FLOOR LINE |
| FLR | FLOOR |
| FGL | FINISHED GRADE LINE |
| GYP BD | GYPSPUM BOARD |
| INCL | INCLUDING |
| MIN | MINIMUM |
| (N) | NEW |
| NGL | NATURAL GRADE LINE |
| NRTH | NORTH |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| REQ'D | REQUIRED |
| RWD | REDWOOD |
| SHT | SHEET |
| STH | SOUTH |
| SPECS | SPECIFICATIONS |
| SS | STAINLESS STEEL |
| TBD | TO BE DETERMINED |
| TYP | TYPICAL |
| UON | UNLESS OTHERWISE NOTED |
| VERT | VERTICAL |
| W | WASHER |
| W/ | WITH |
| WD | WOOD |
| W/O | WITHOUT |
| WP | WATERPROOF |

9. DRAWING INDEX

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1-E1 ELECTRICAL PLANS
 1-E2 ELECTRICAL PLANS

1-P1 PLUMBING PLANS
 1-P2 PLUMBING PLANS

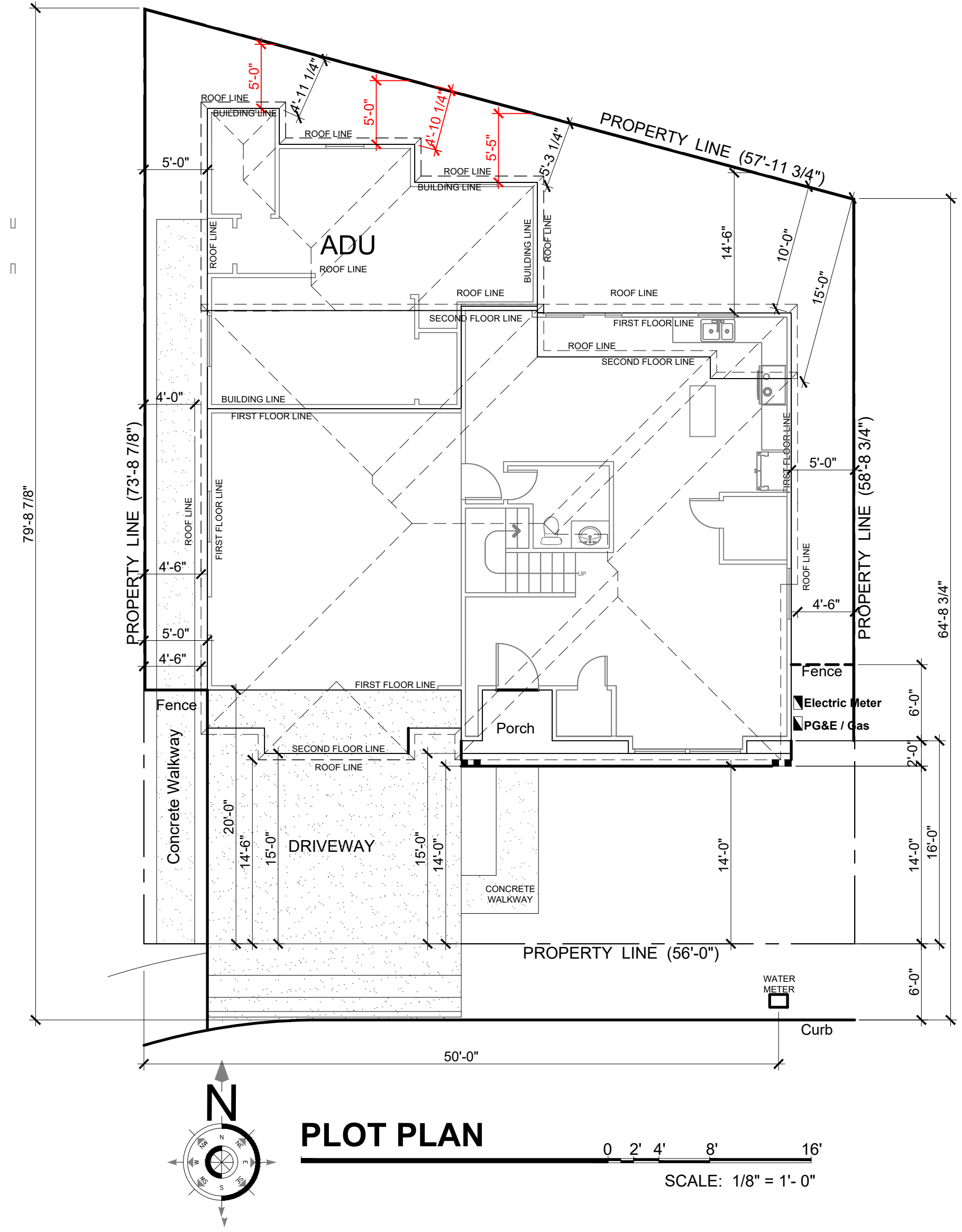
10. SYMBOLS

| | |
|----|------------------|
| & | AND |
| ∠ | ANGLE |
| @ | AT |
| — | CENTERLINE |
| ⊥ | PERPENDICULAR |
| # | POUND OR NUMBER |
| ⊕ | WORK POINT |
| ○ | COLUMN GRID |
| D | DOOR SYMBOL |
| W1 | WINDOW SYMBOL |
| ◻ | SHEARWALL SYMBOL |
| Ⓐ | SELECTION NUMBER |
| 1 | SHEET NUMBER |

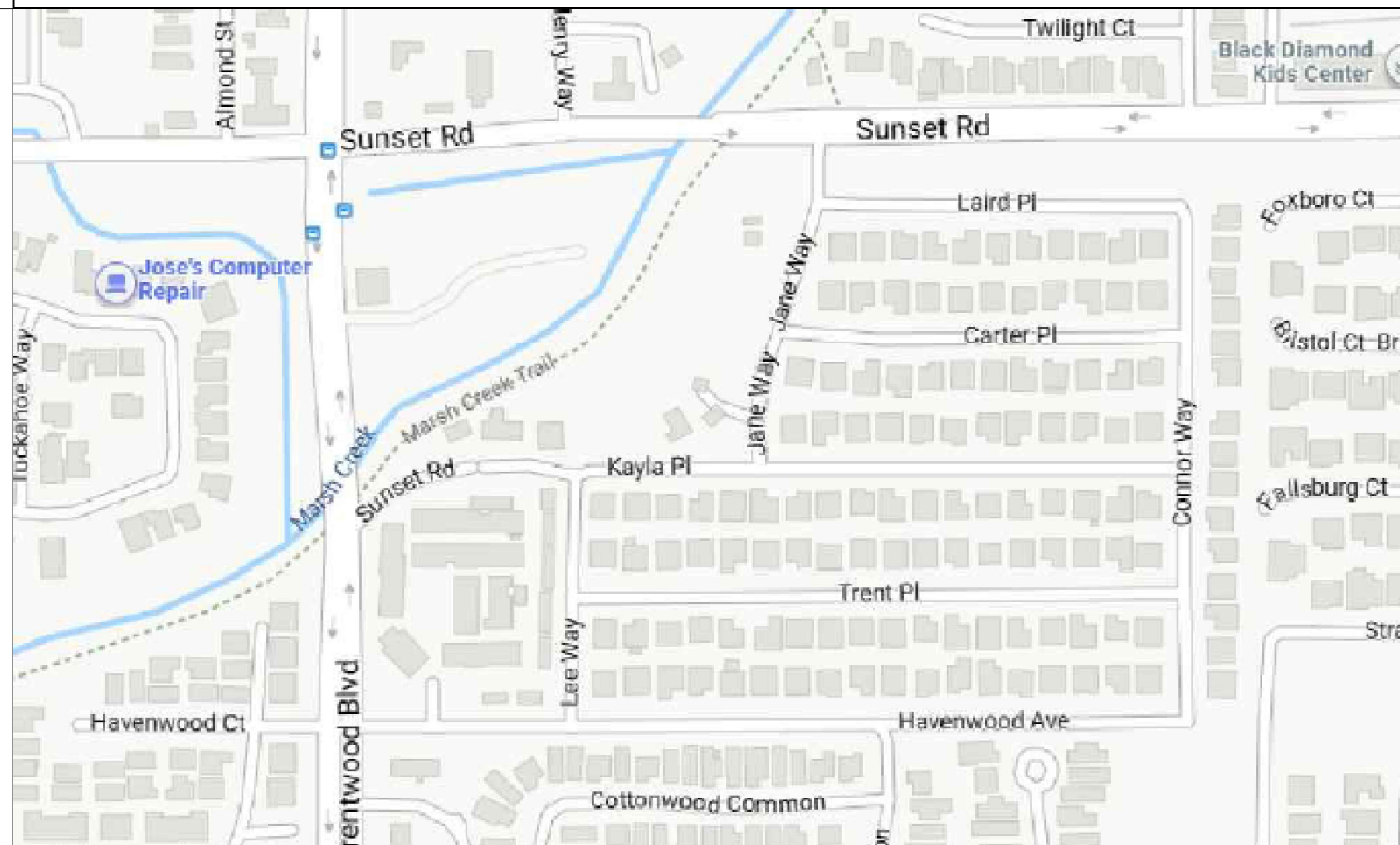
INTERIOR ELEVATION SYMBOL

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| 3 | 1-ELEVATION NUMBER |
| 2 | SHEET NUMBER |

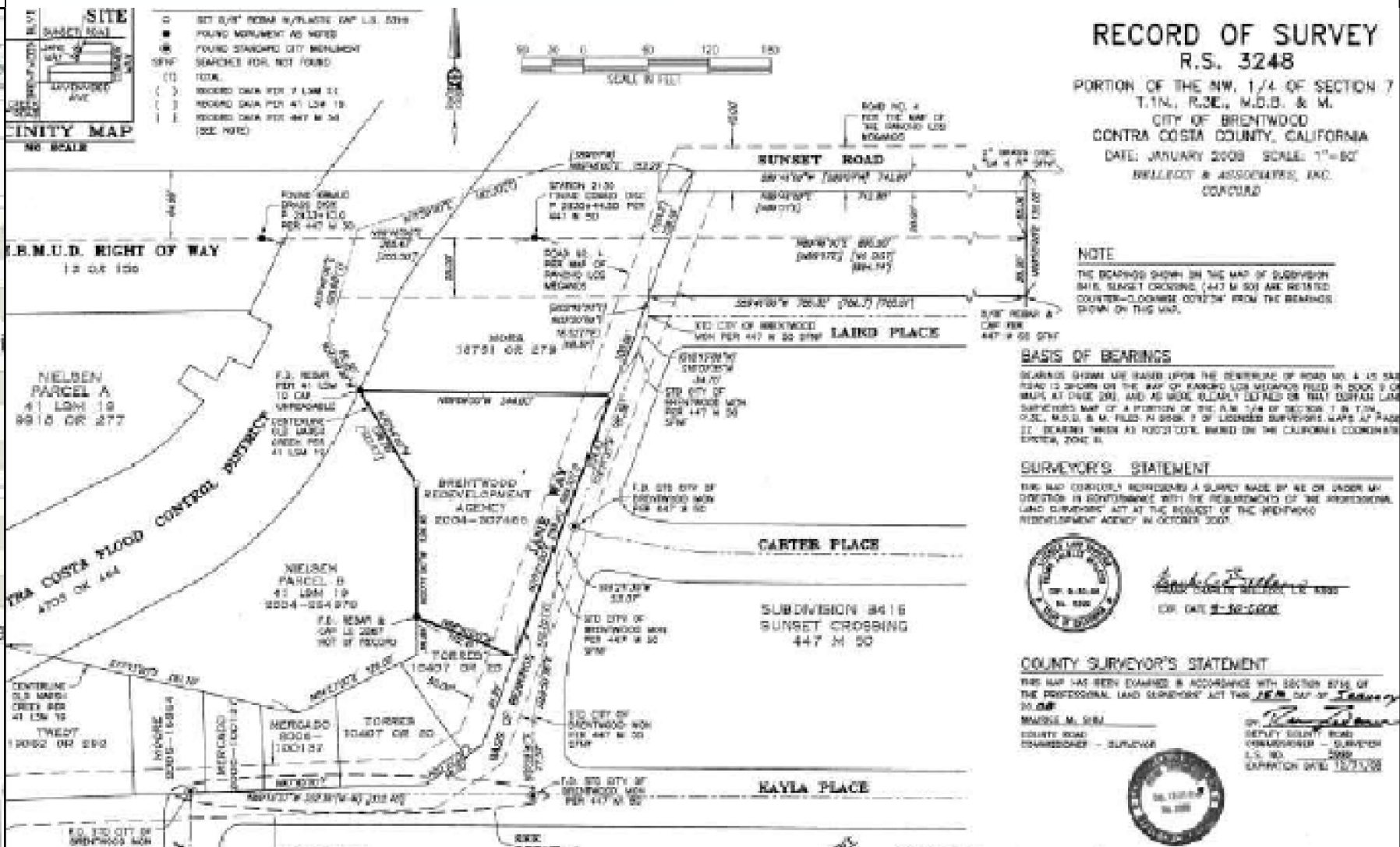
5. PLOT PLAN



7. VICINITY MAP



6. SURVEY MAP



1. GENERAL NOTES

- SEE DRAWINGS OTHER THAN STRUCTURAL FOR: TYPES OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES.
- HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE COORDINATED BY THE CONTRACTOR WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND THEIR SUB-CONTRACTORS.
- NO PIPES OR DUCTS SHALL BE EMBEDDED IN WALLS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT.
- DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT, ENGINEER OR CONSTRUCTION MANAGER SHALL NOT RELIEVE THE CONTRACTOR OF SUCH RESPONSIBILITY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- DO NOT USE SCALED DIMENSIONS: USE WRITTEN DIMENSIONS. WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE CALLED FOR OR SHOWN.

2. PROJECT DESCRIPTION

- PROPOSED 2-STORY RESIDENTIAL WITH ADU

3. COMPLIANCE CODES

THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO THE FOLLOWING BUILDING CODES AND STANDARDS AS APPLICABLE:

- ~ CALIFORNIA BUILDING CODE, 2022 EDITION
- ~ CALIFORNIA ELECTRICAL CODE, 2022 EDITION
- ~ CALIFORNIA CALIFORNIA MECHANICAL CODE, 2022 EDITION
- ~ CALIFORNIA CALIFORNIA PLUMBING CODE, 2022 EDITION
- ~ CALIFORNIA TITLE 24 DISABLED AND ENERGY REGULATIONS, 2022 EDITION
- ~ CITY OF RICHMOND MUNICIPAL CODE
- ~ CFC (CALIFORNIA FIRE CODE)
- ~ CA GREEN BUILDING STANDARD CODES, 2022 EDITION

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AT JOBSITE AND BRING ALL CONFLICTING INFORMATION TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK

4. PROJECT SUMMARY AND INFORMATION

| | |
|----------------------------------|----------------------------------|
| PROPERTY OWNER | : STEVE MATTHIAS |
| ADDRESS | : 171 KAYLA PLACE, BRENTWOOD, CA |
| TEL. NUMBER | : |
| APN | : 016-010-005 |
| ZONING | : R1 (SINGLE FAMILY DWELLING) |
| COUNTY | : CONTRA COSTA |
| OCCUPANCY | : R3 |
| TYPE OF CONSTRUCTION | : VB |
| LOT AREA | : 3,702 SQ.FT. |
| GARAGE AREA | : 430 SQ.FT. |
| AREA OF FIRST FLOOR | : 867 SQ.FT. |
| AREA OF SECOND FLOOR | : 1,486 SQ.FT. |
| TOTAL LIVING AREA | : 2,353 SQ.FT. |
| AREA OF ADU | : 480 SQ.FT. |
| COVERED PORCH | : 38 SQ.FT. |
| MAIN BUILDING FOOTPRINT | : 1,486 SQ.FT. |
| ADU BUILDING FOOTPRINT (NA) | : 480 SQ.FT. |
| TOTAL FOOTPRINT | : 1,556 SQ.FT. |
| PERCENTAGE OF BUILDING FOOTPRINT | : 42.03 % |

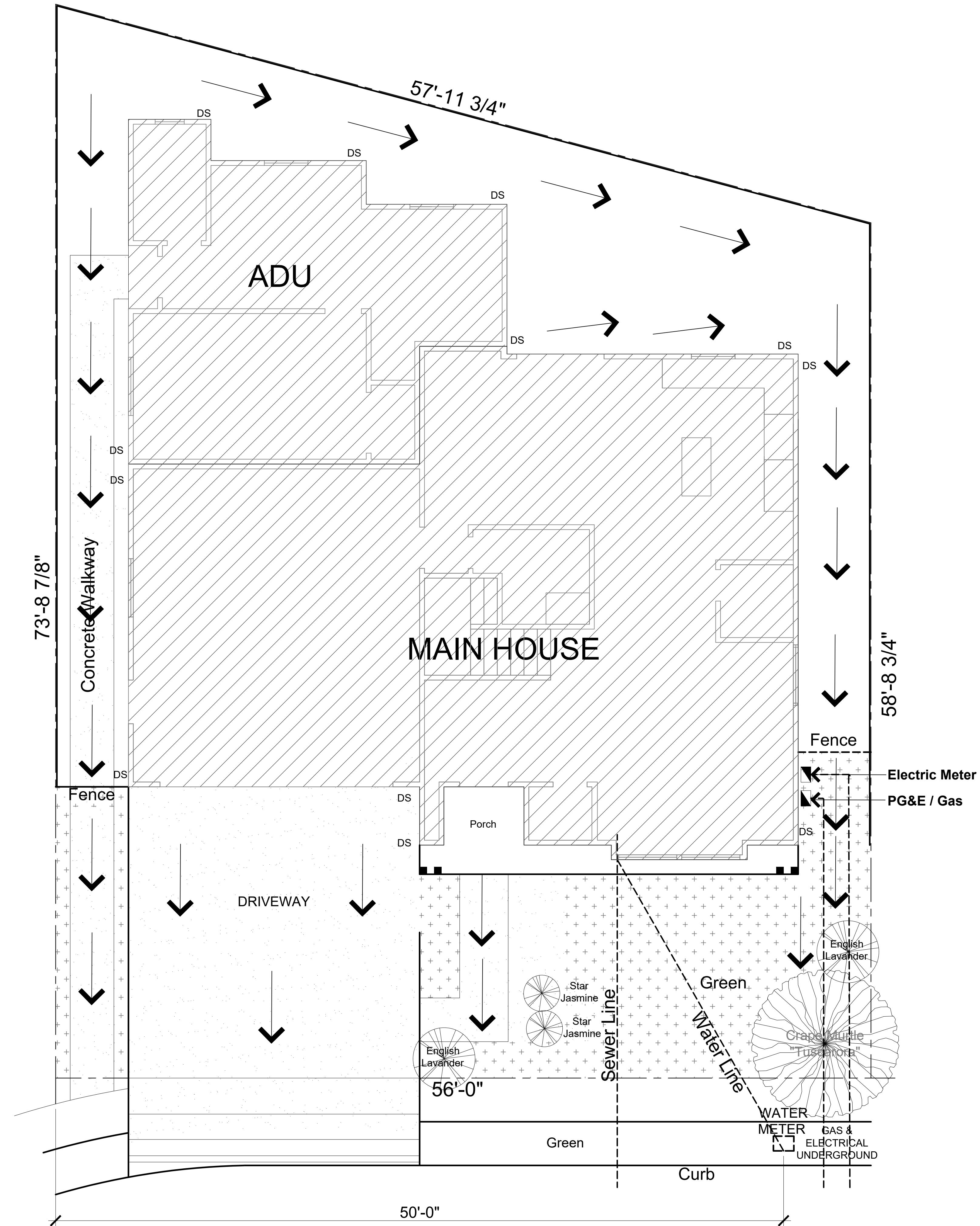
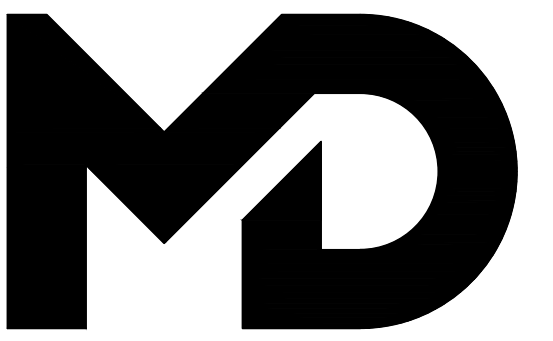
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| PROJECT | KAYLA'S PLACE RESIDENCE |
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| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | COVER SHEET |
| SCALE | SCALE |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | |

1-A0.A

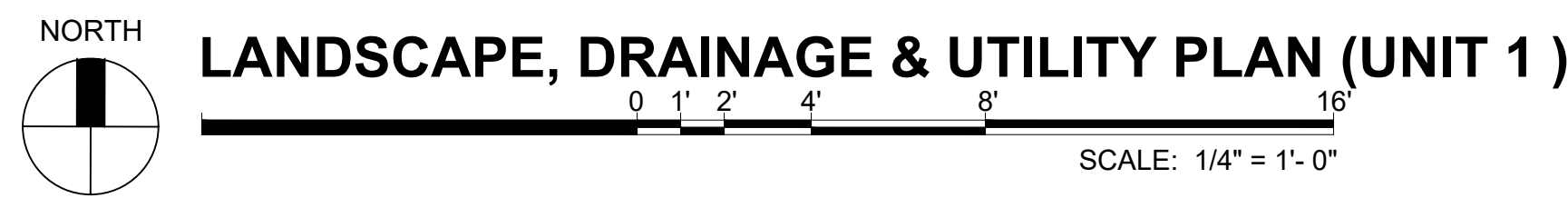


FRONT YARD SQ.FT./PERCENTAGE CALCULATION

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| CONCRETE | 514 SQ.FT. | 61.33% |
| LANDSCAPE | 324 SQ.FT. | 38.67% |

LEGEND

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| | FLOW OF WATER |
| | LANDSCAPE |
| | CONCRETE |

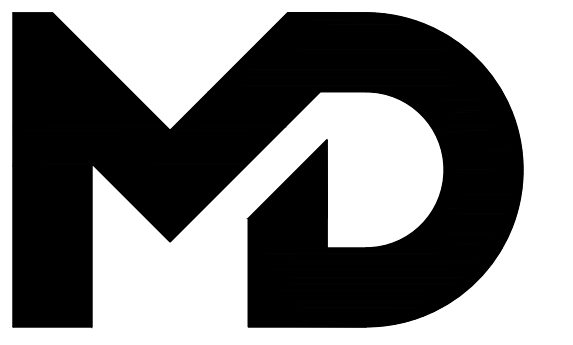


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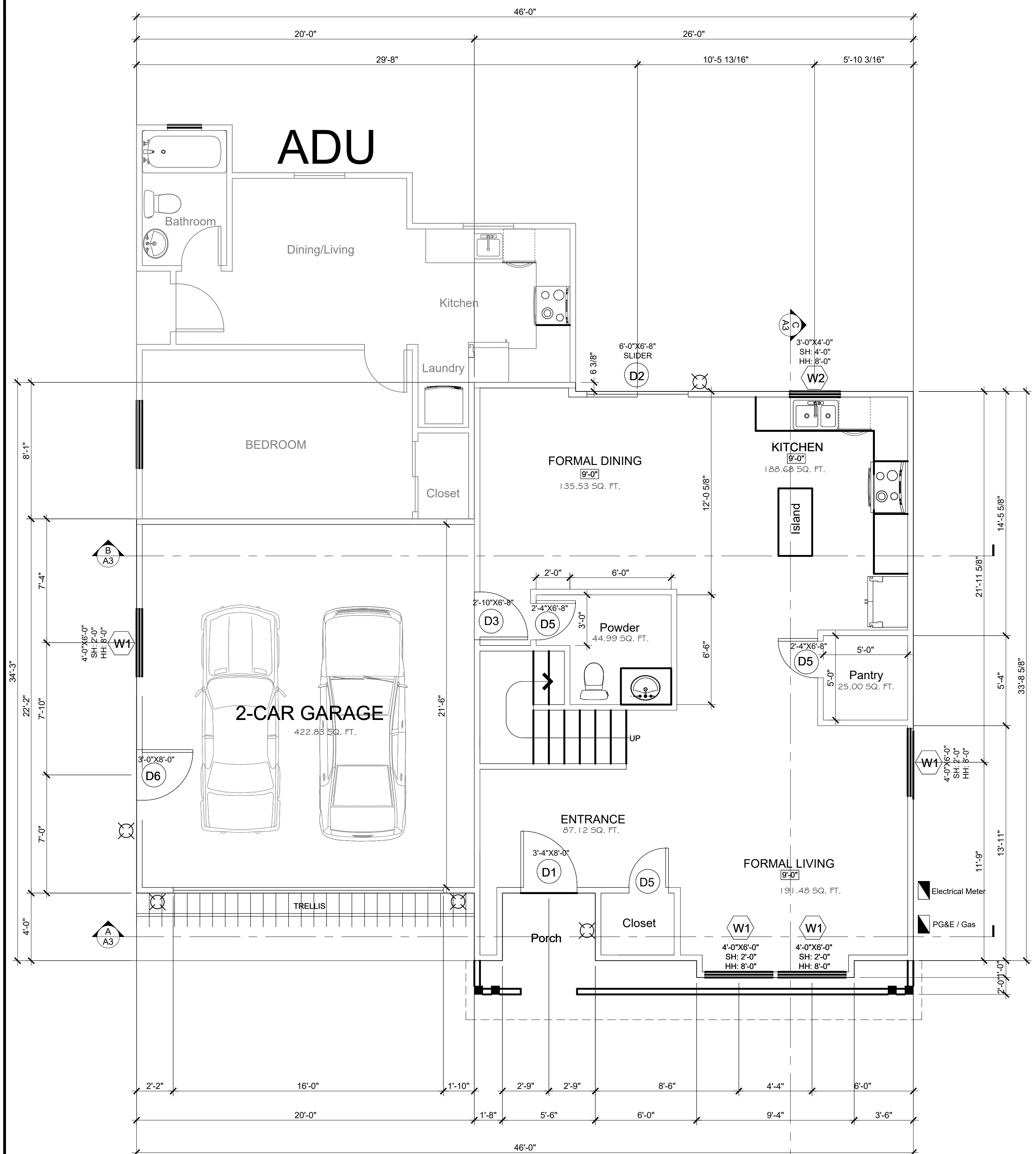
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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | DRAINAGE PLAN |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | |

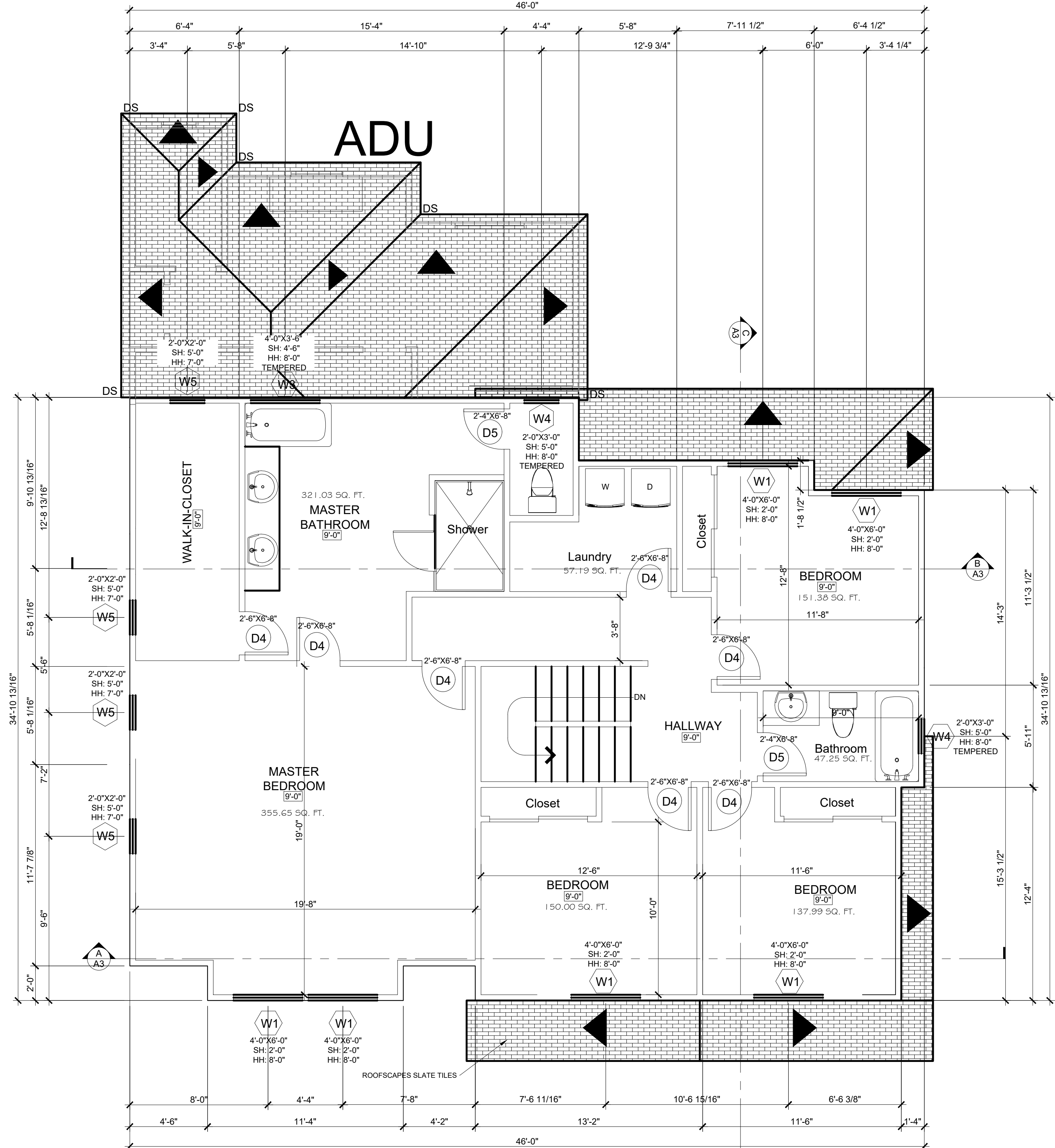
1-A0.B



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NORTH
PROPOSED 1ST FLOOR PLAN (UNIT 1)
SCALE: 1/4" = 1'-0"



NORTH
PROPOSED 2ND FLOOR PLAN (UNIT 1)
SCALE: 1/4" = 1'-0"

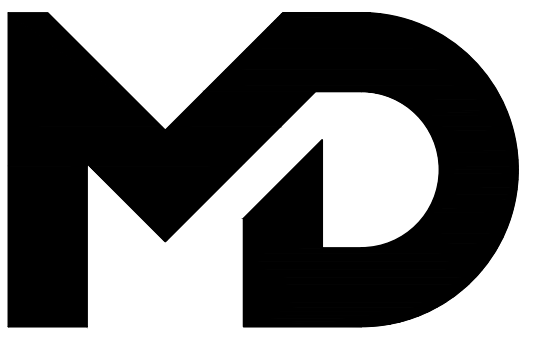
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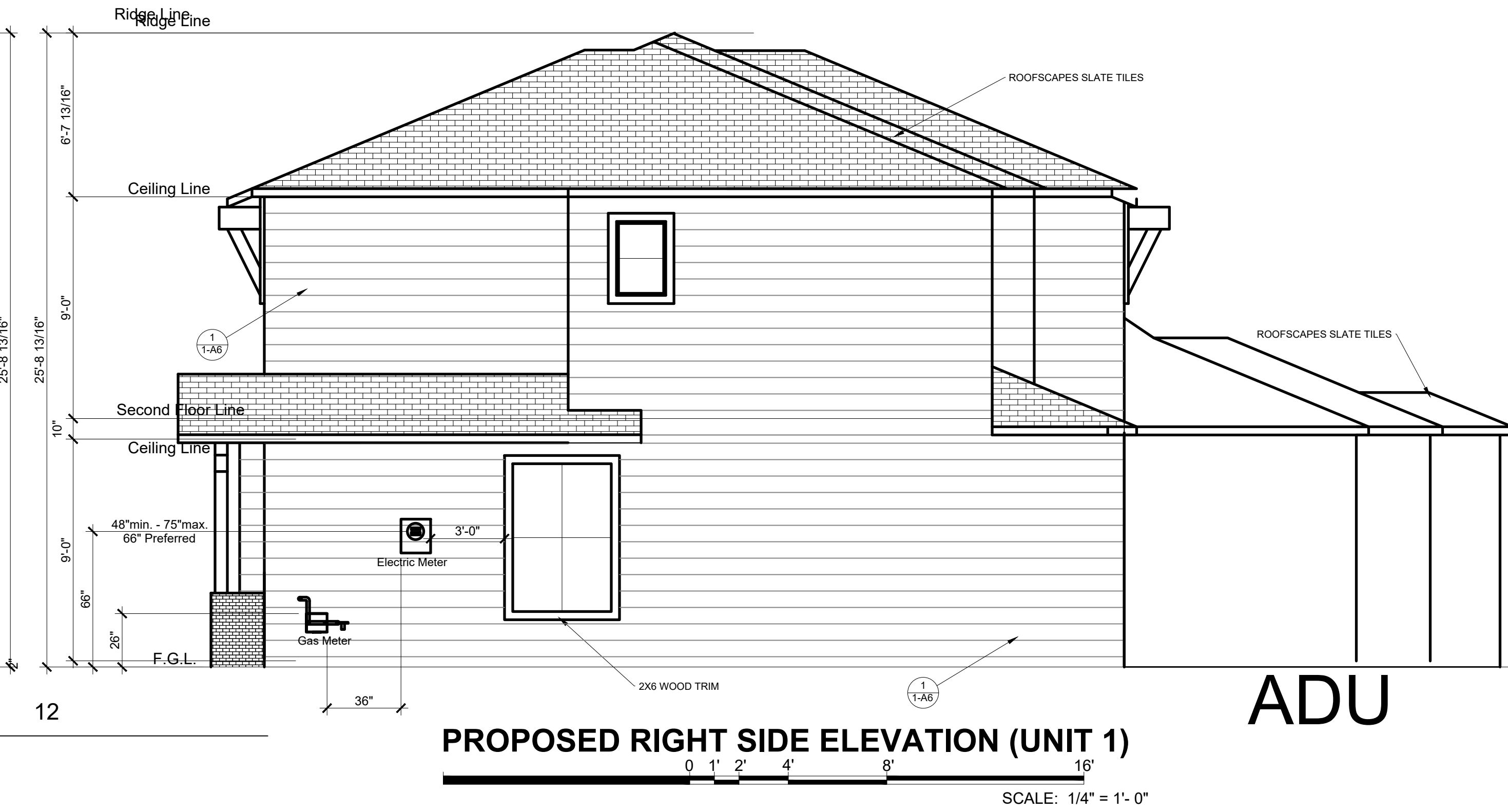
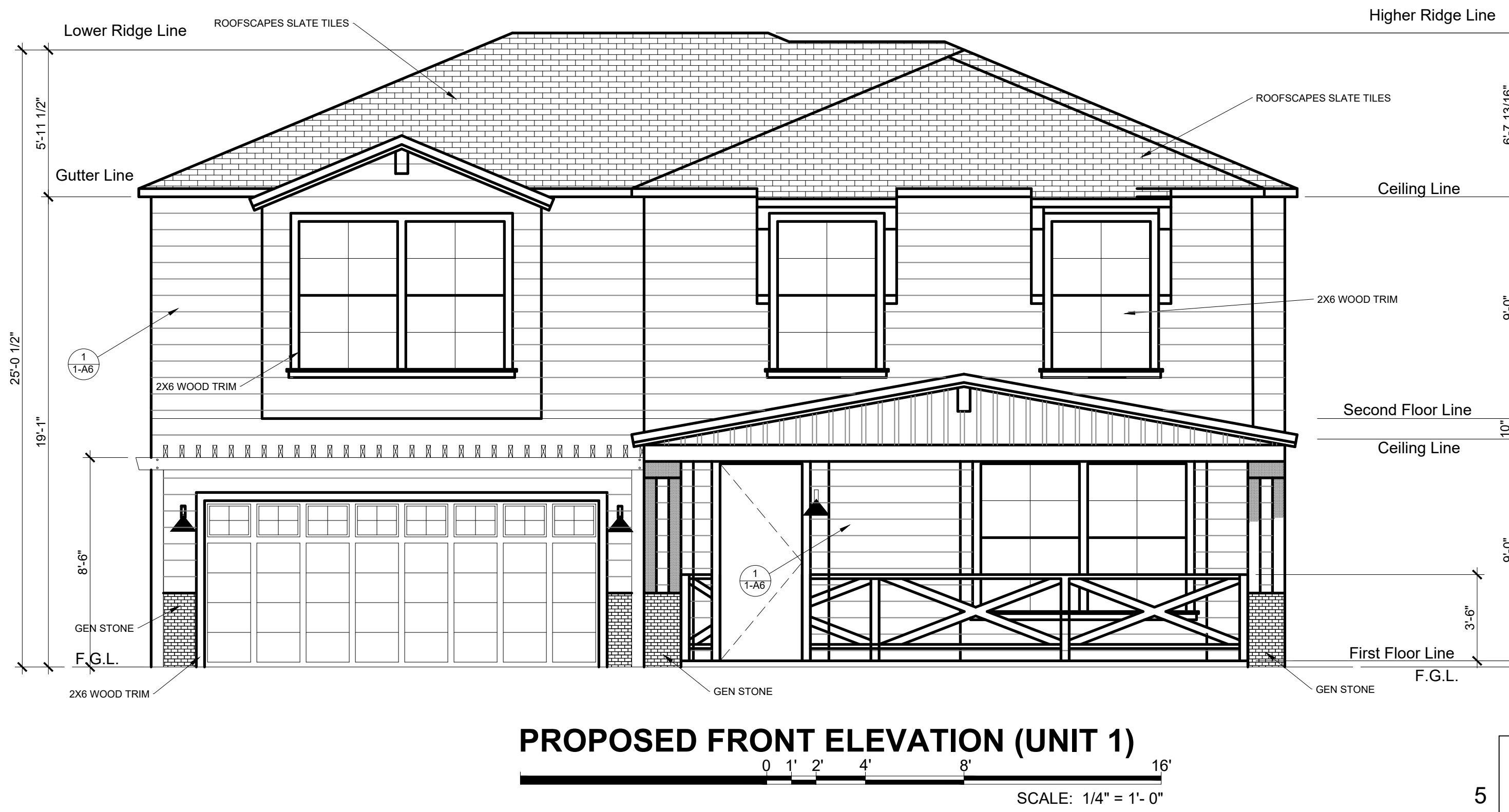
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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | FLOOR PLAN |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | |

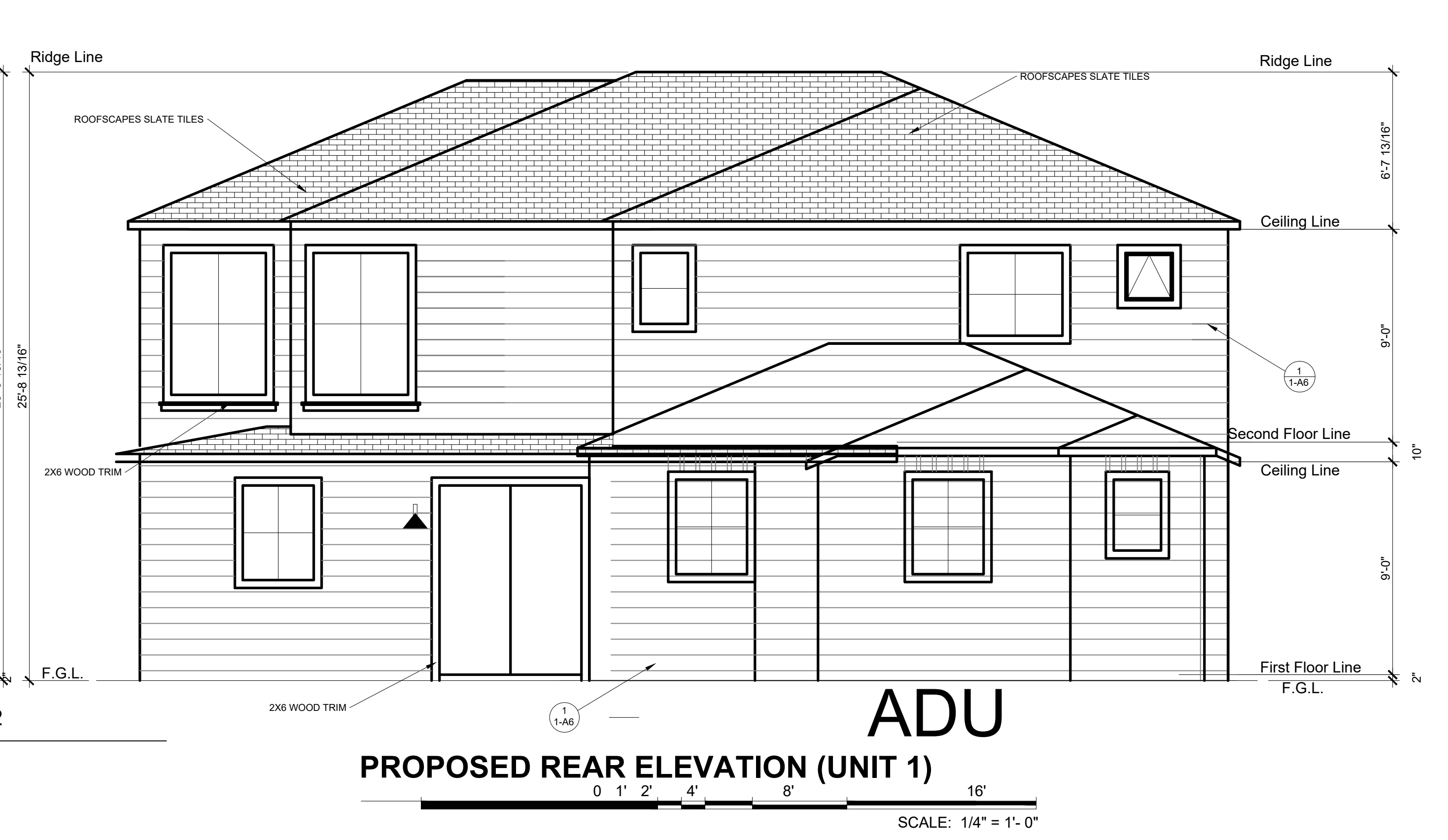
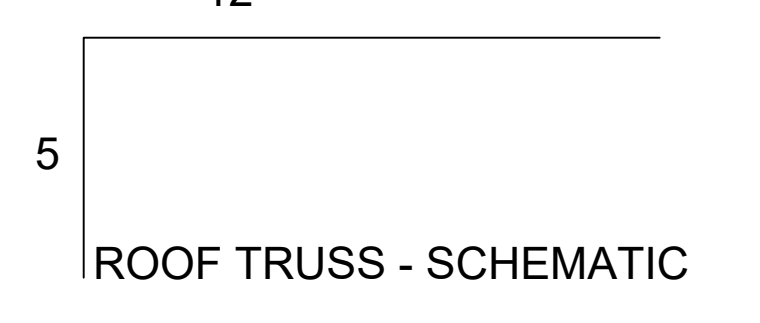
1. PROPOSED ELEVATIONS



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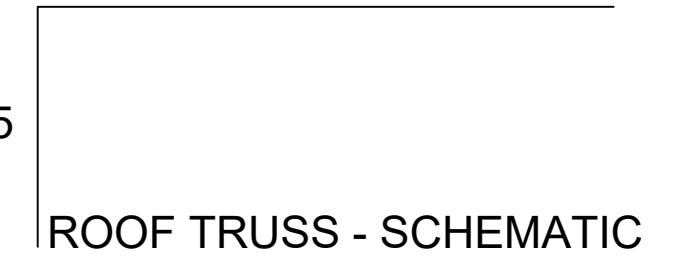


ADU



ADU

ADU



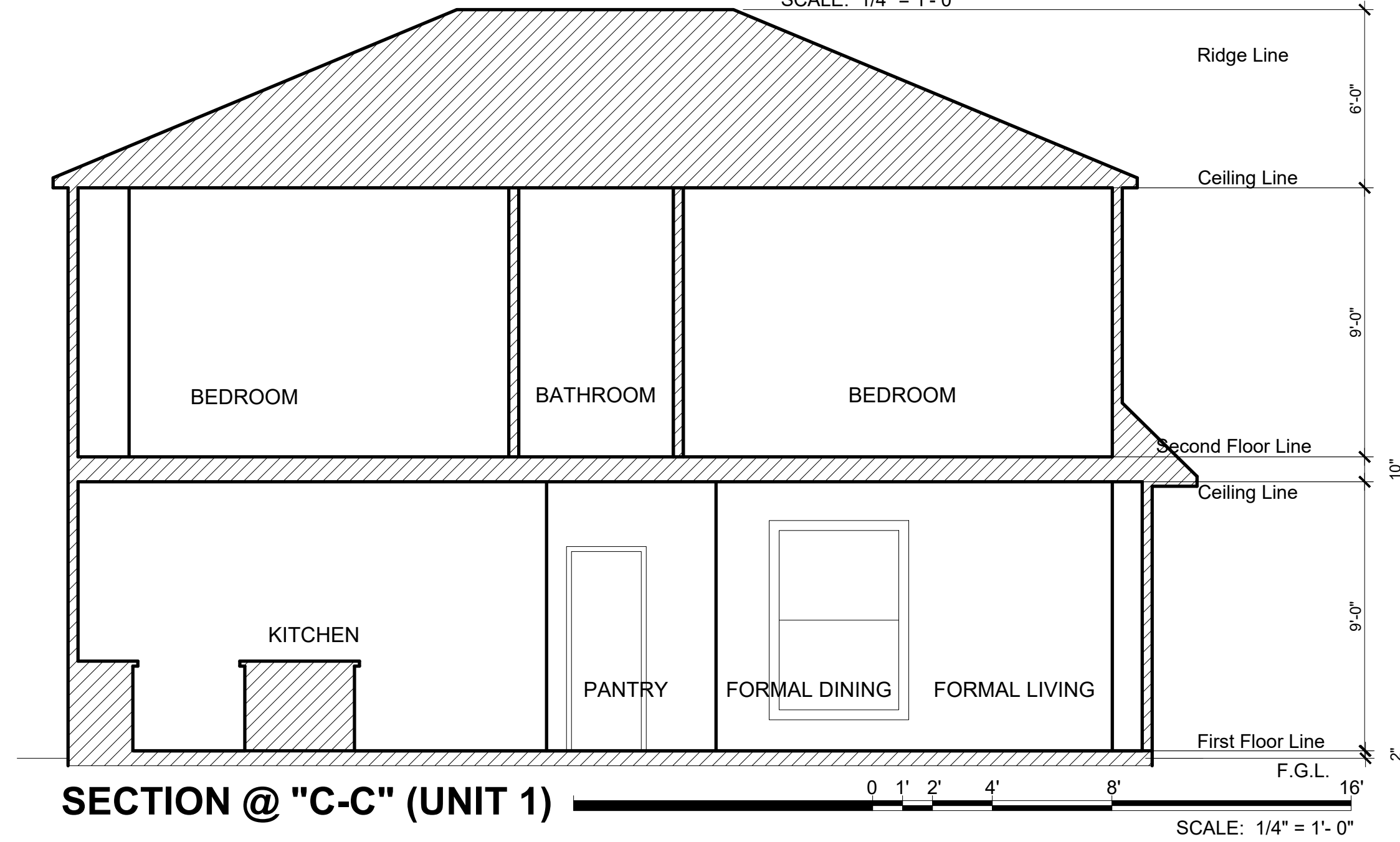
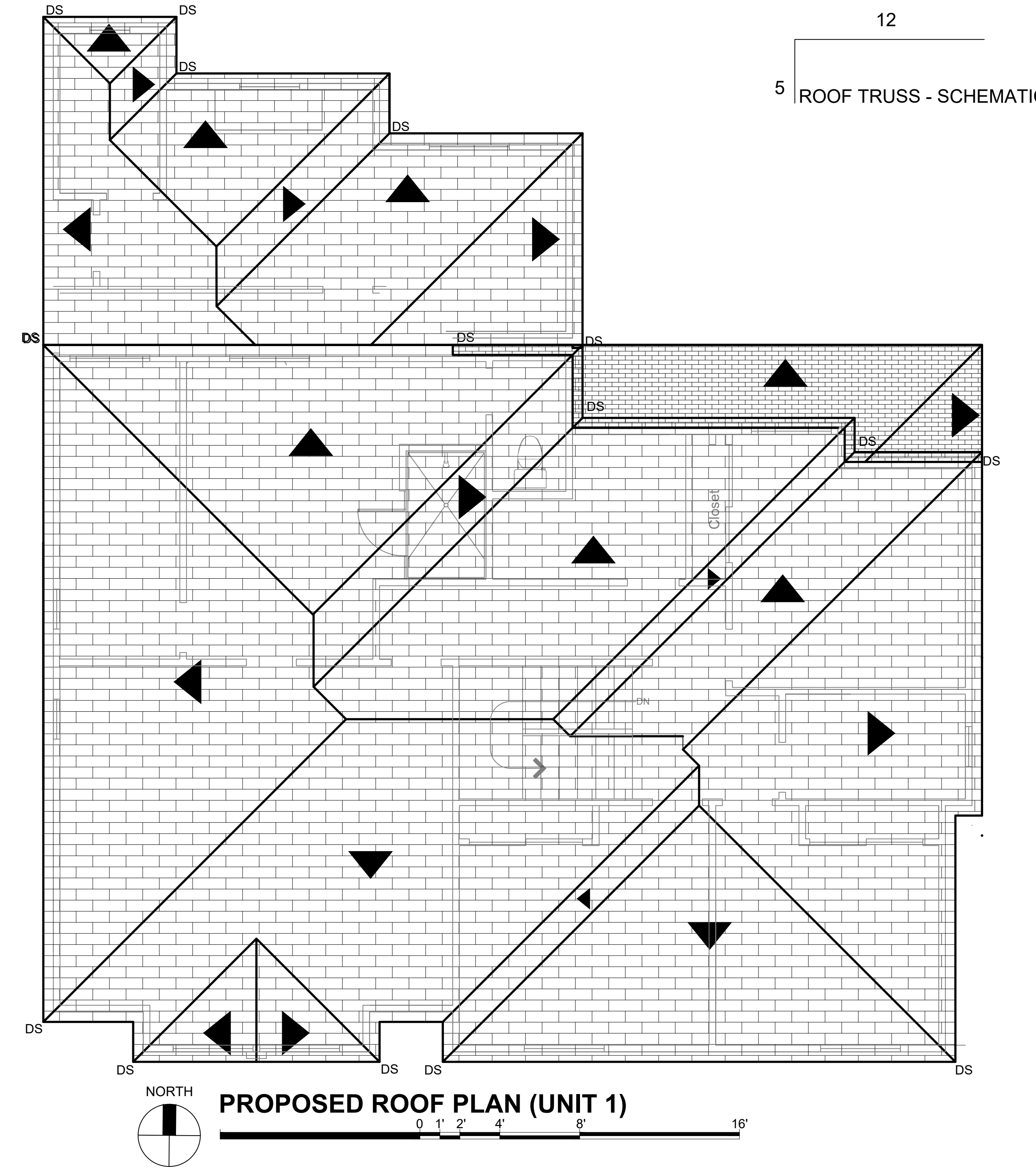
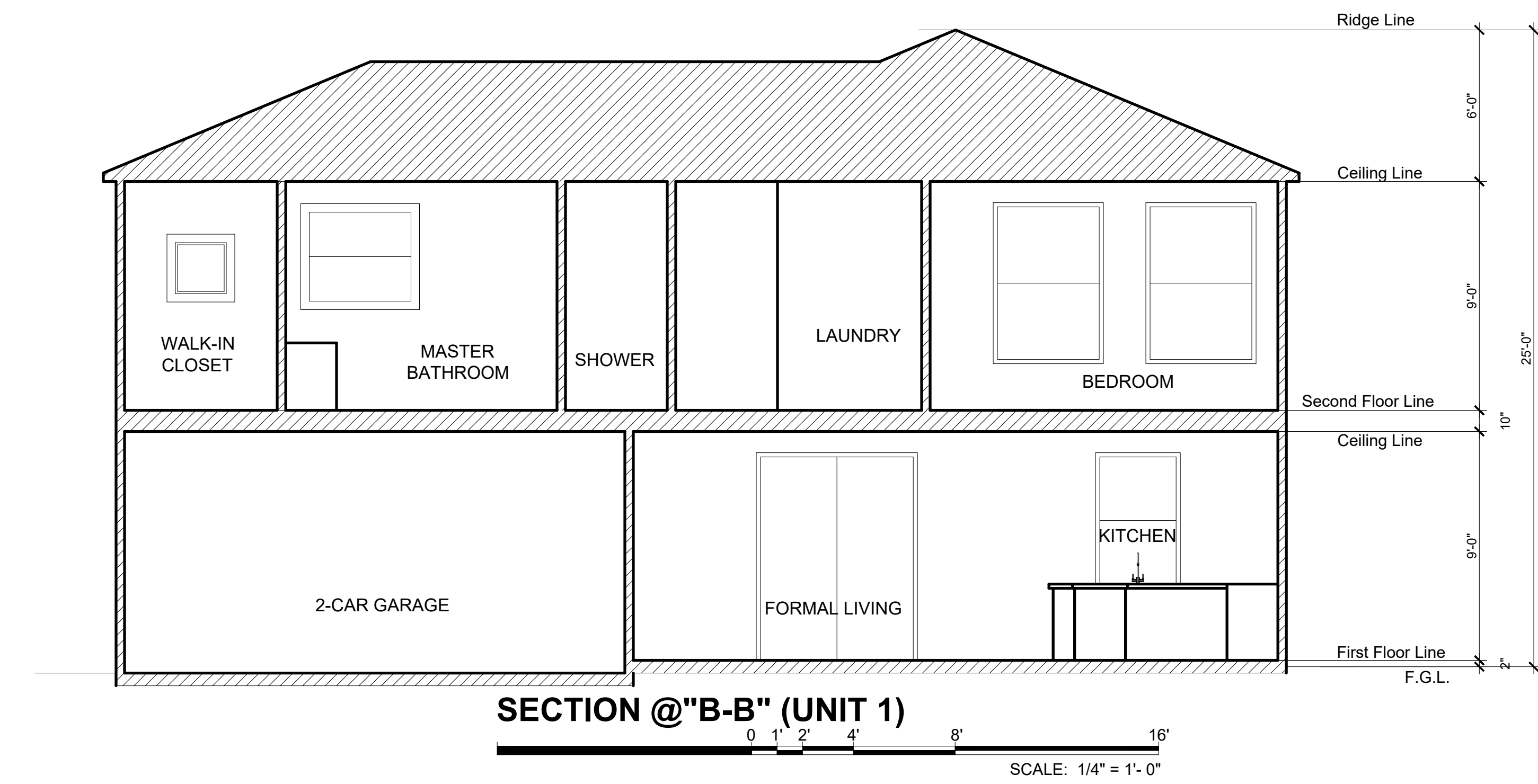
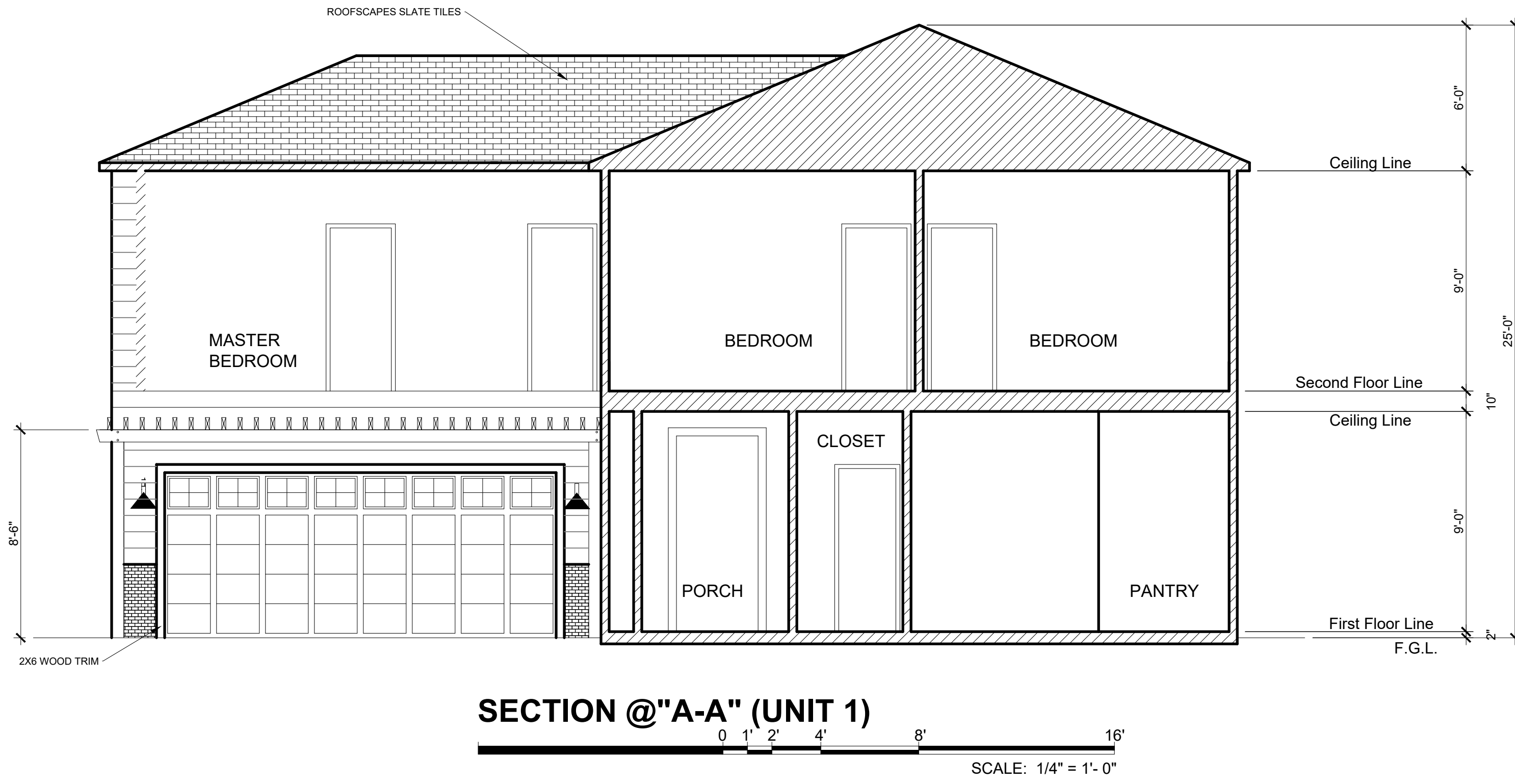
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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | CONTENT |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
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1-A2

1. SECTIONS / ROOF PLAN



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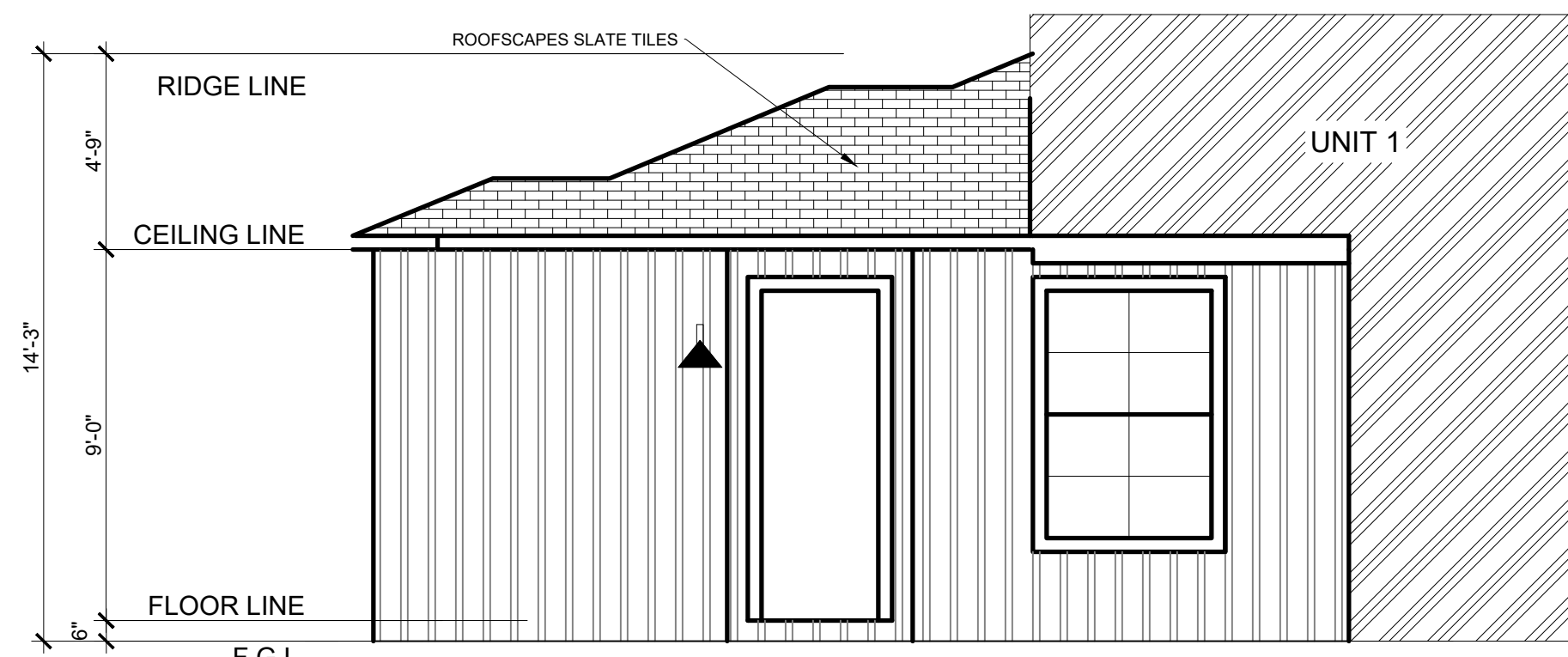
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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | CONTENT |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | |

1-A3

1. ADU FLOOR PLAN / ELEVATIONS / ROOF PLAN

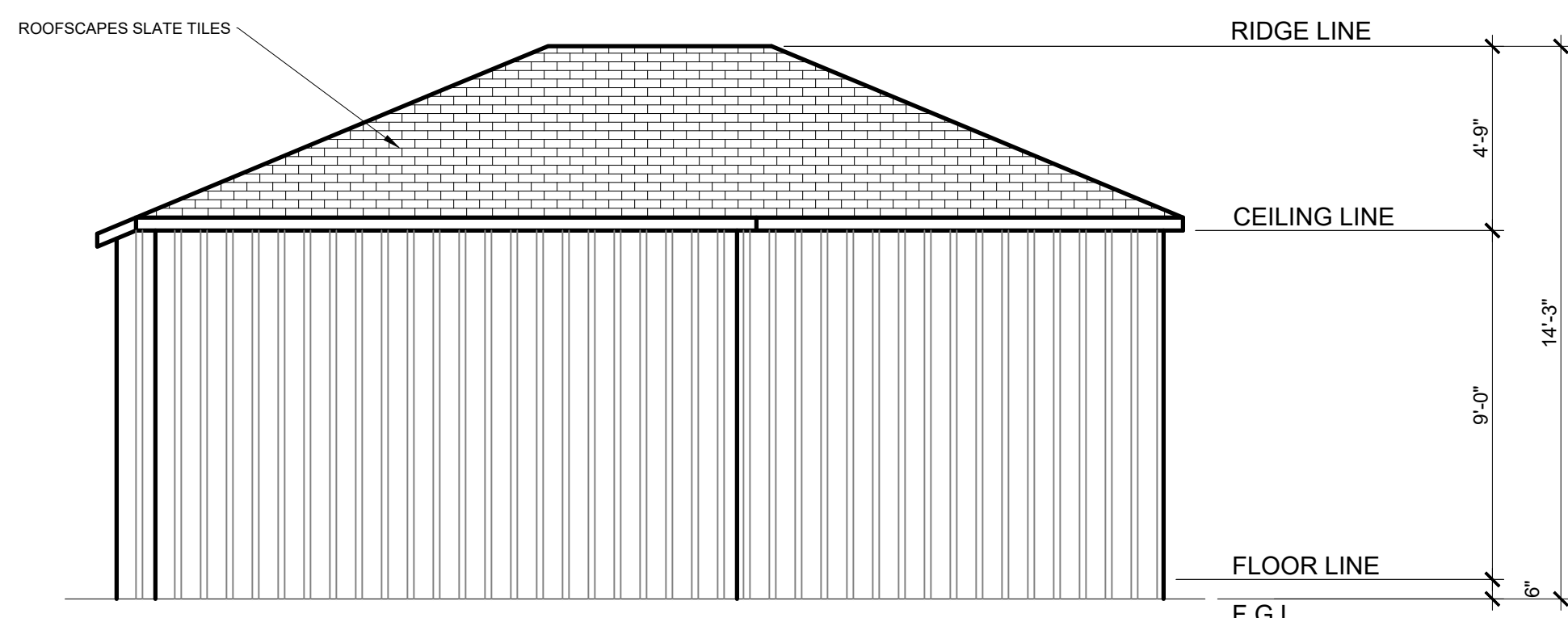


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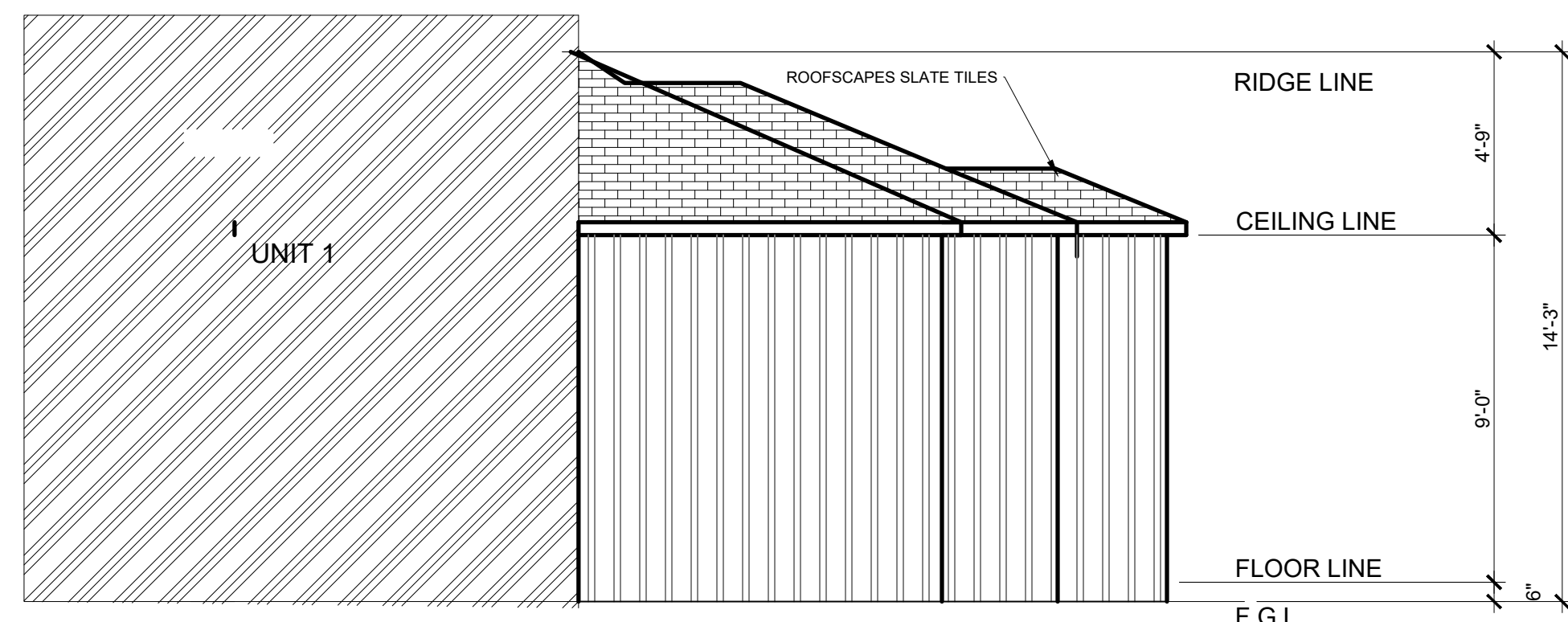
PROPOSED FRONT ELEVATION (ADU 1)

SCALE: 1/4" = 1'-0"



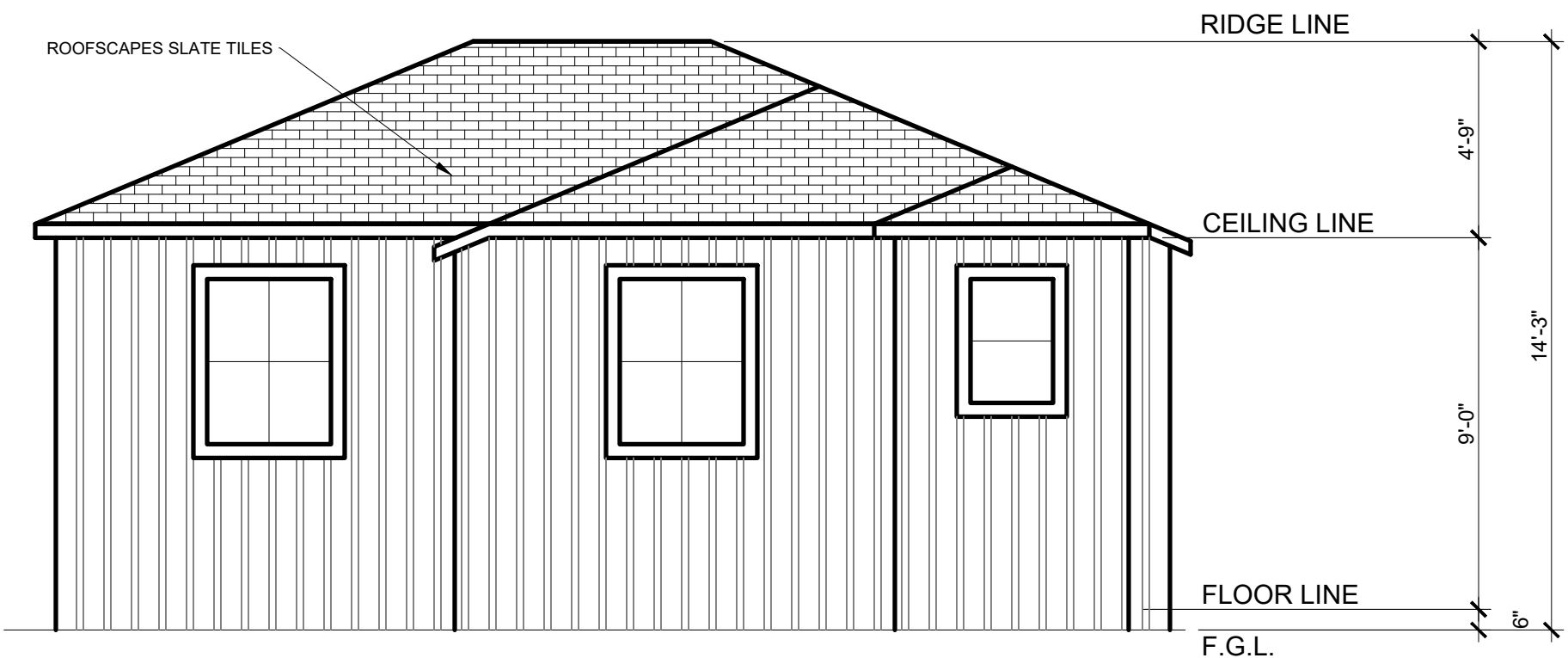
PROPOSED RIGHT ELEVATION (ADU 1)

SCALE: 1/4" = 1'-0"



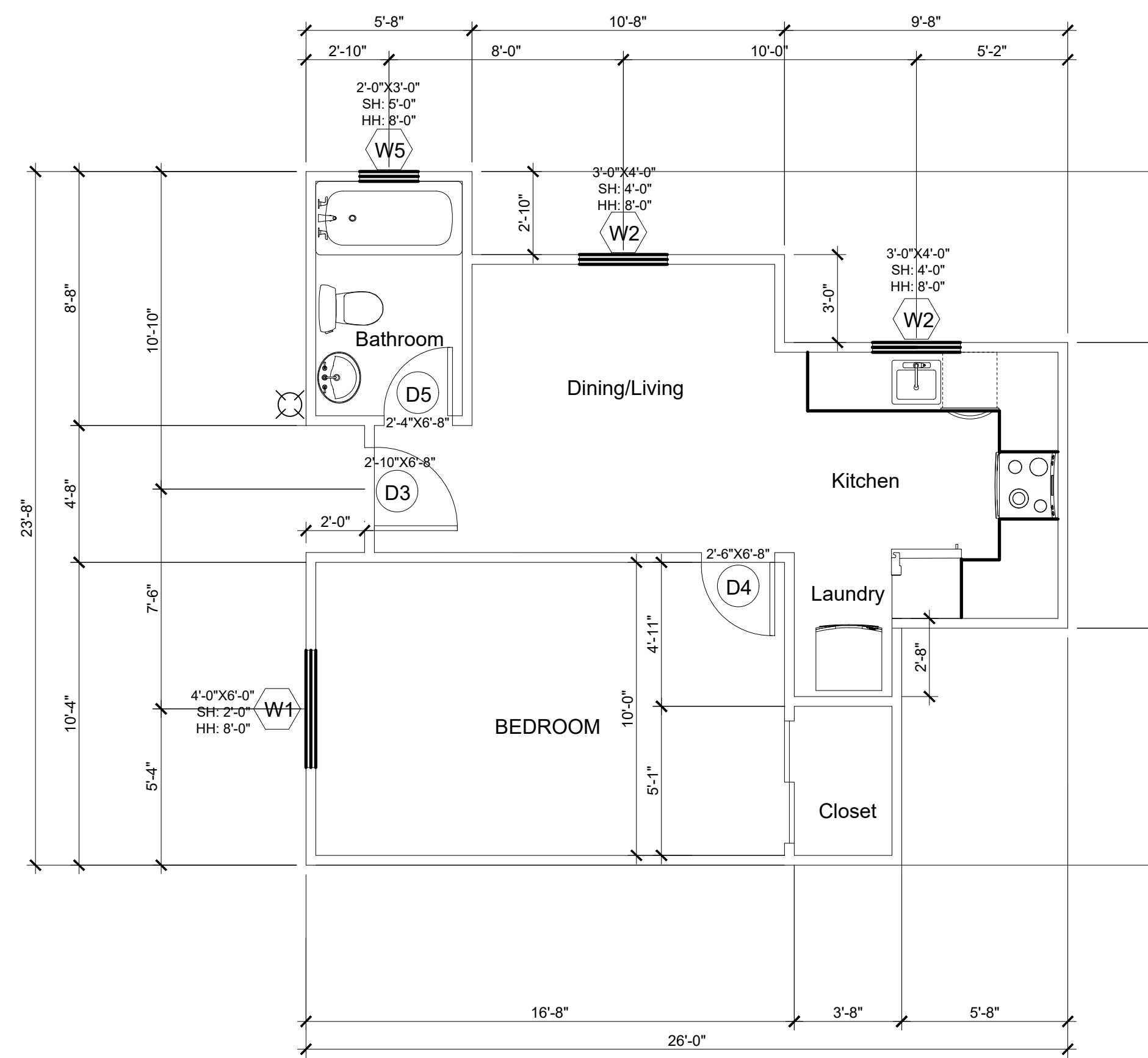
PROPOSED REAR ELEVATION (ADU 1)

SCALE: 1/4" = 1'-0"



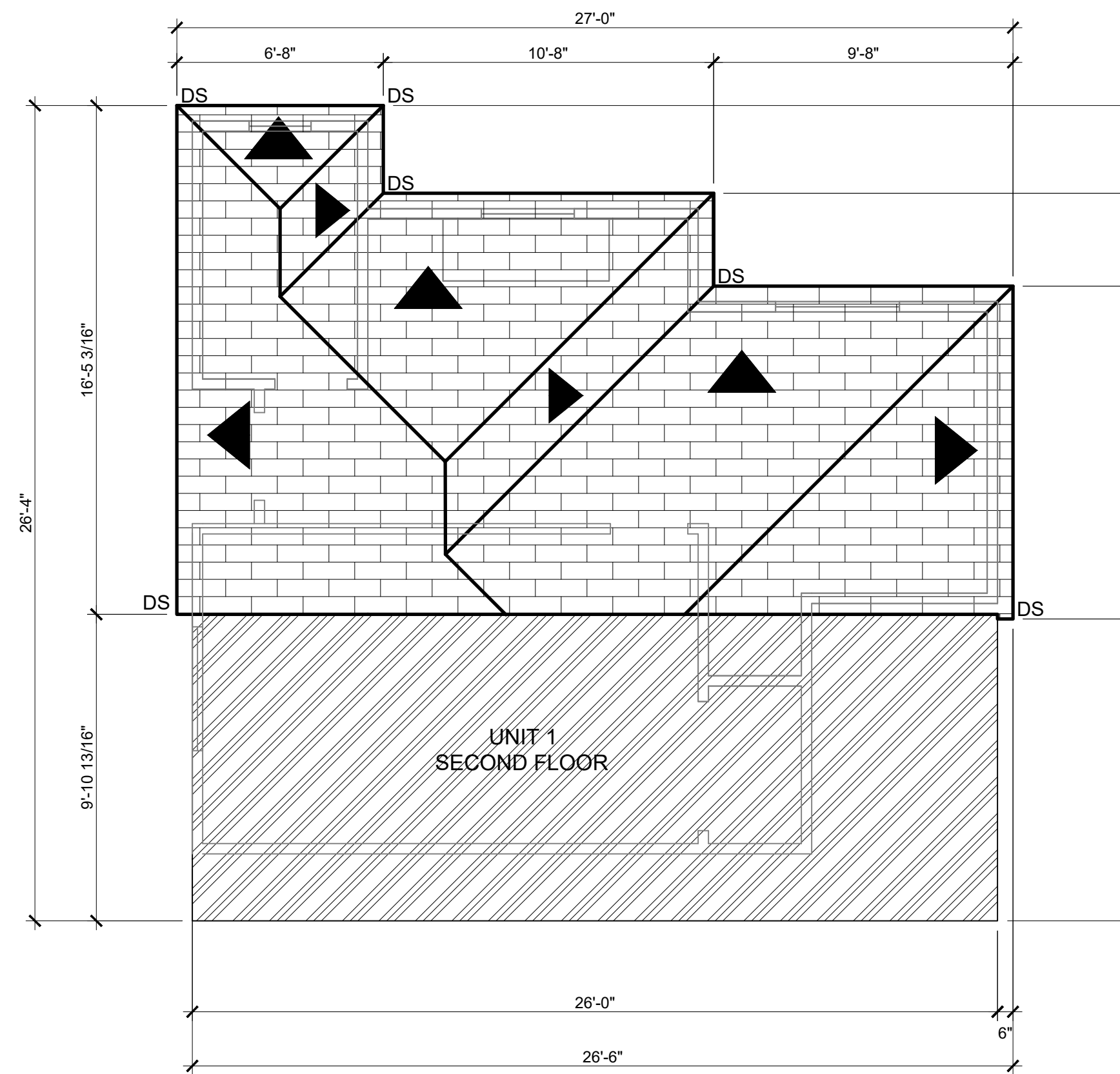
PROPOSED LEFT ELEVATION (ADU 1)

SCALE: 1/4" = 1'-0"



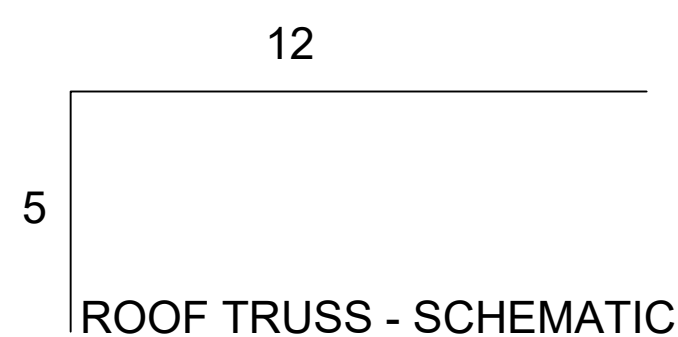
PROPOSED ADU FLOOR PLAN (UNIT 1)

SCALE: 1/4" = 1'-0"



PROPOSED ADU ROOF PLAN (UNIT 1)

SCALE: 1/4" = 1'-0"



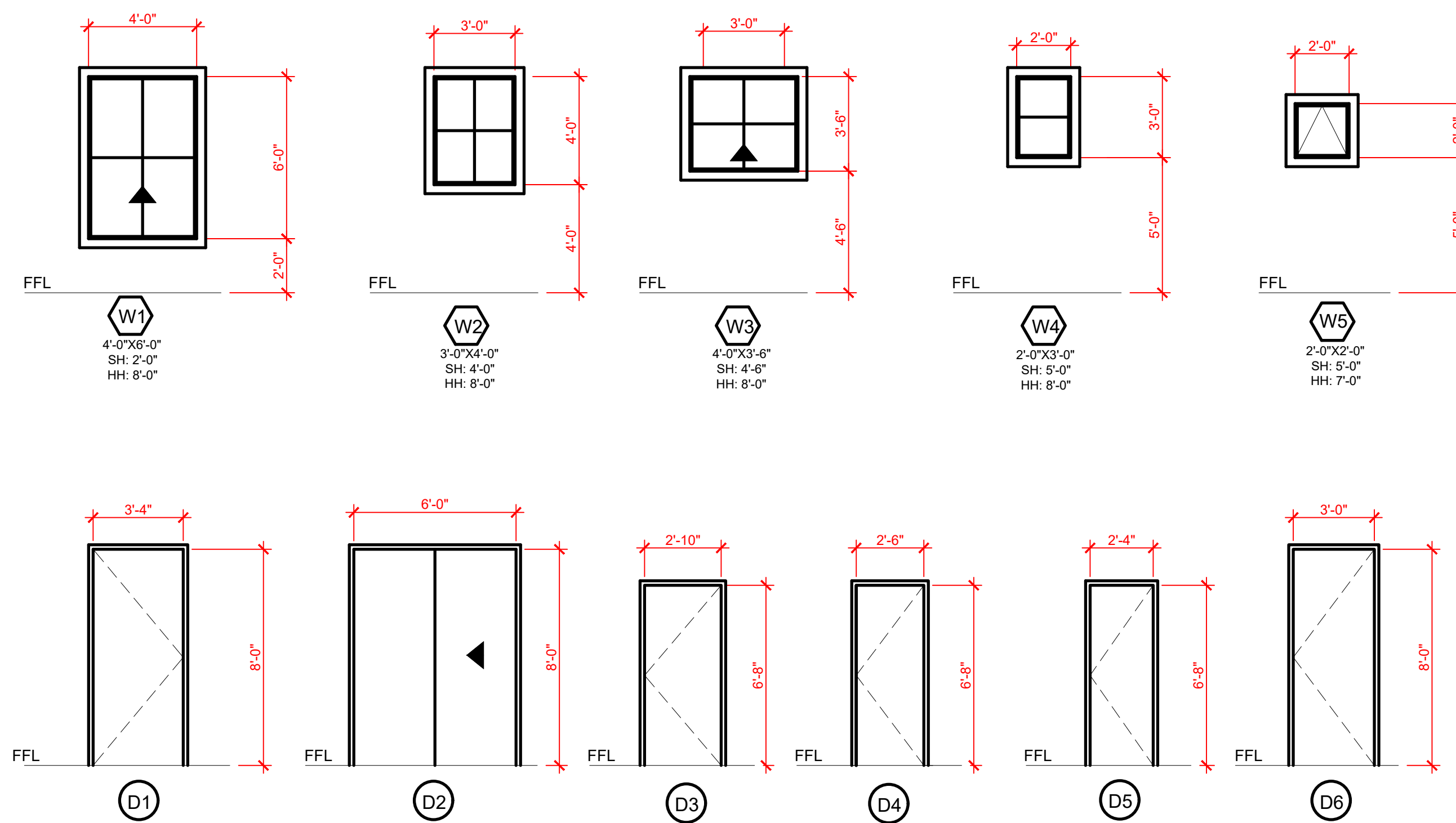
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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | ADU PLAN |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | |

1-A4

1. SCHEDULE OF DOORS & WINDOWS



A SCHEDULE OF NEW DOORS & WINDOWS
SCALE: 1/4" = 1'-0"



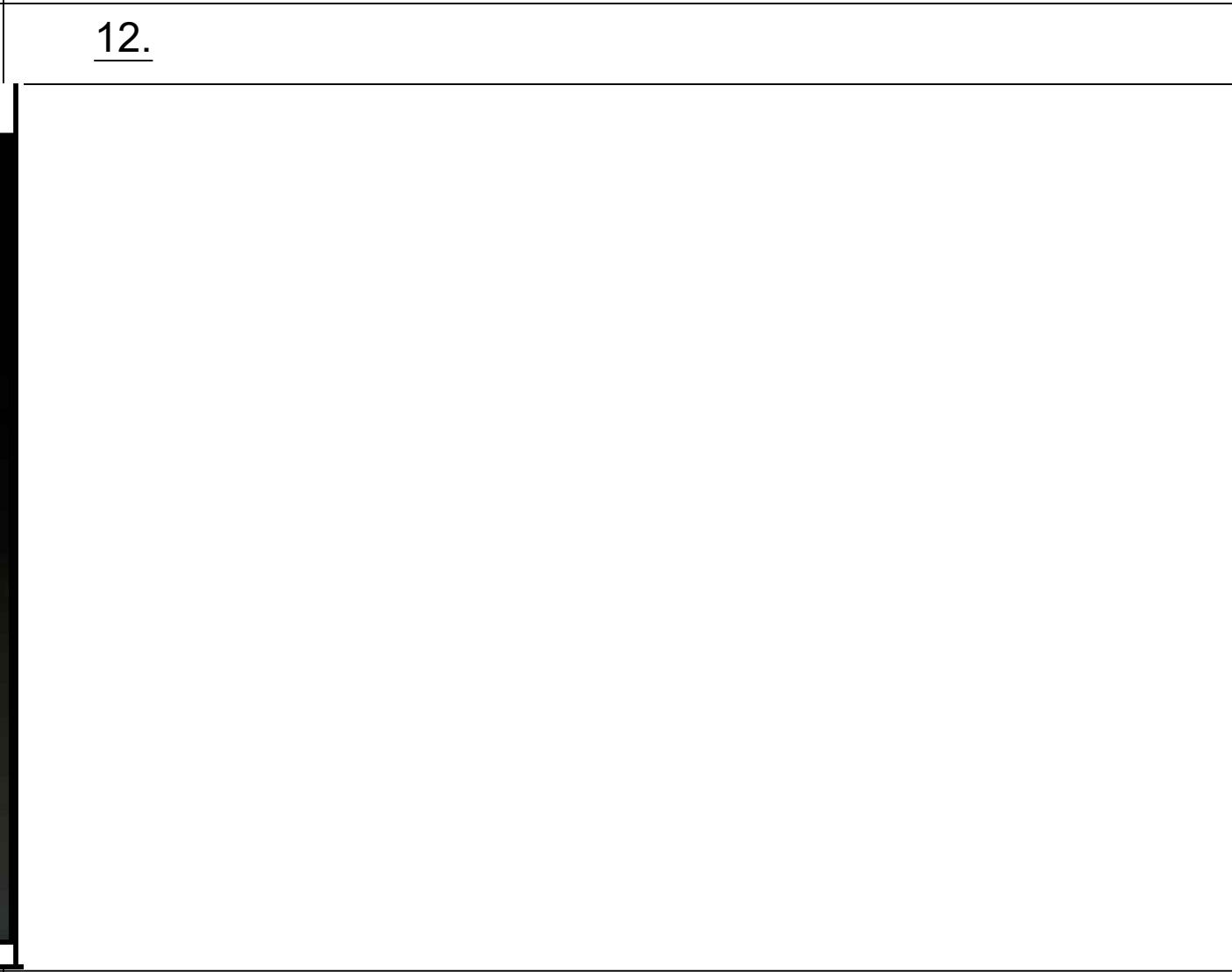
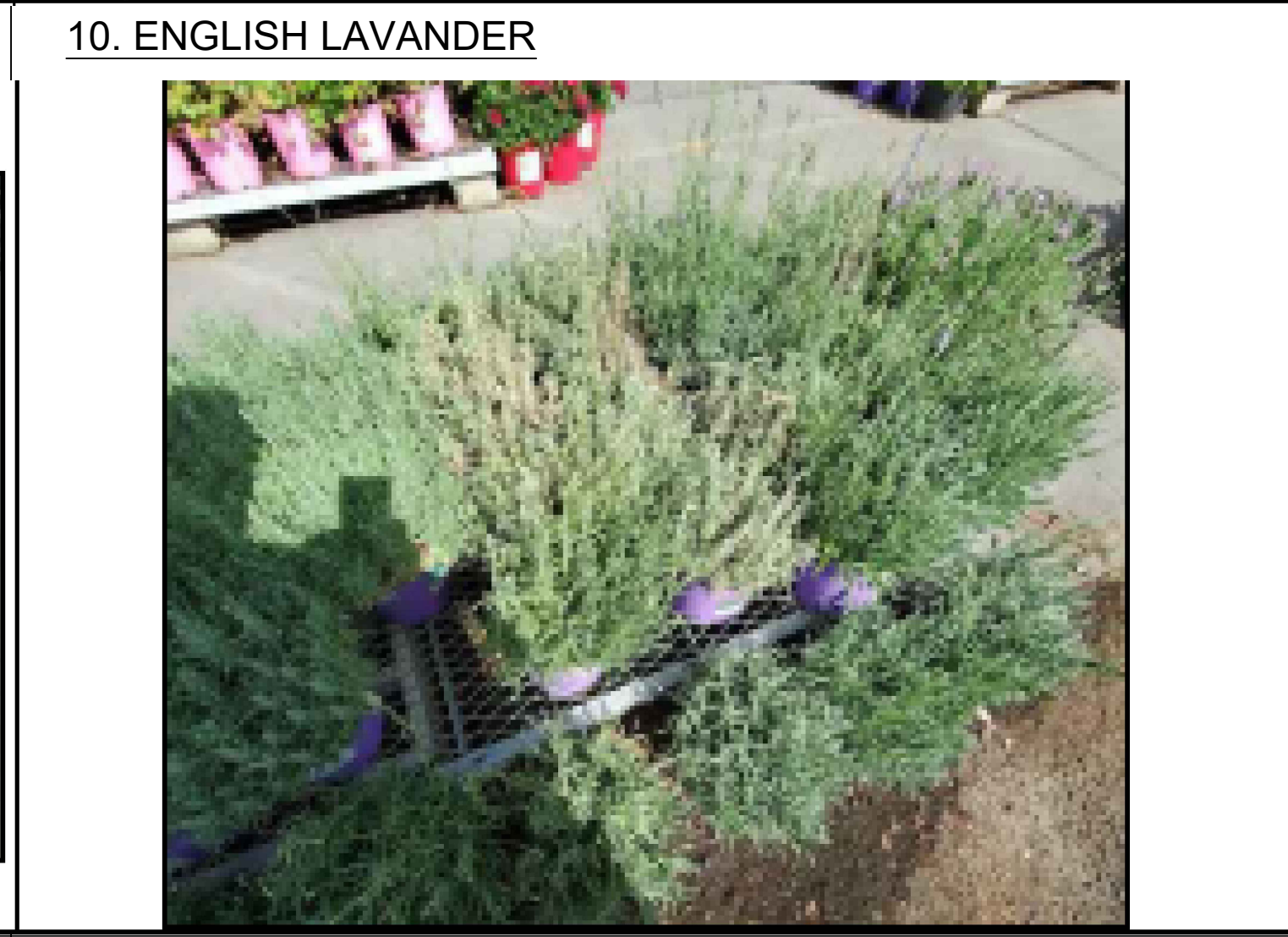
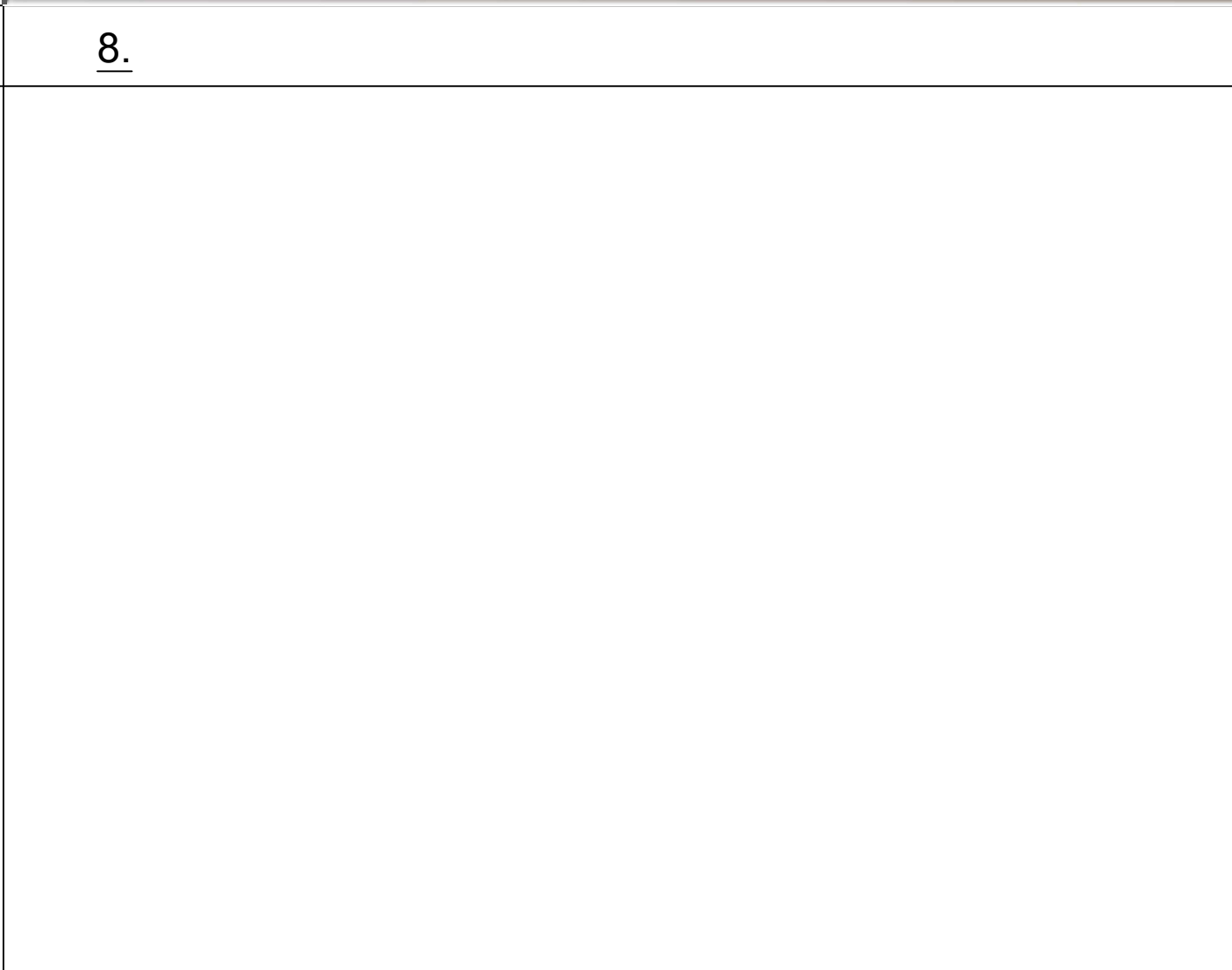
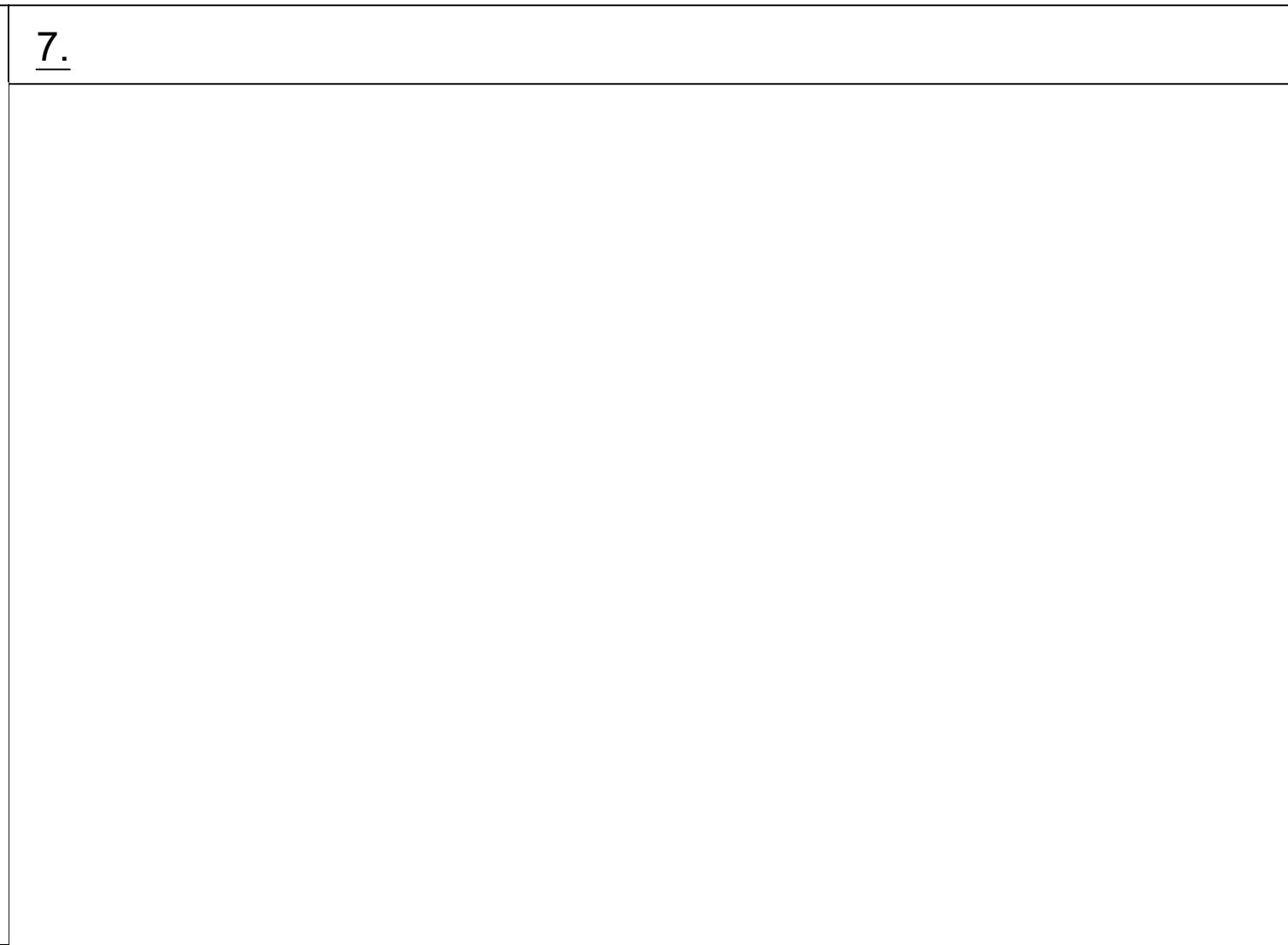
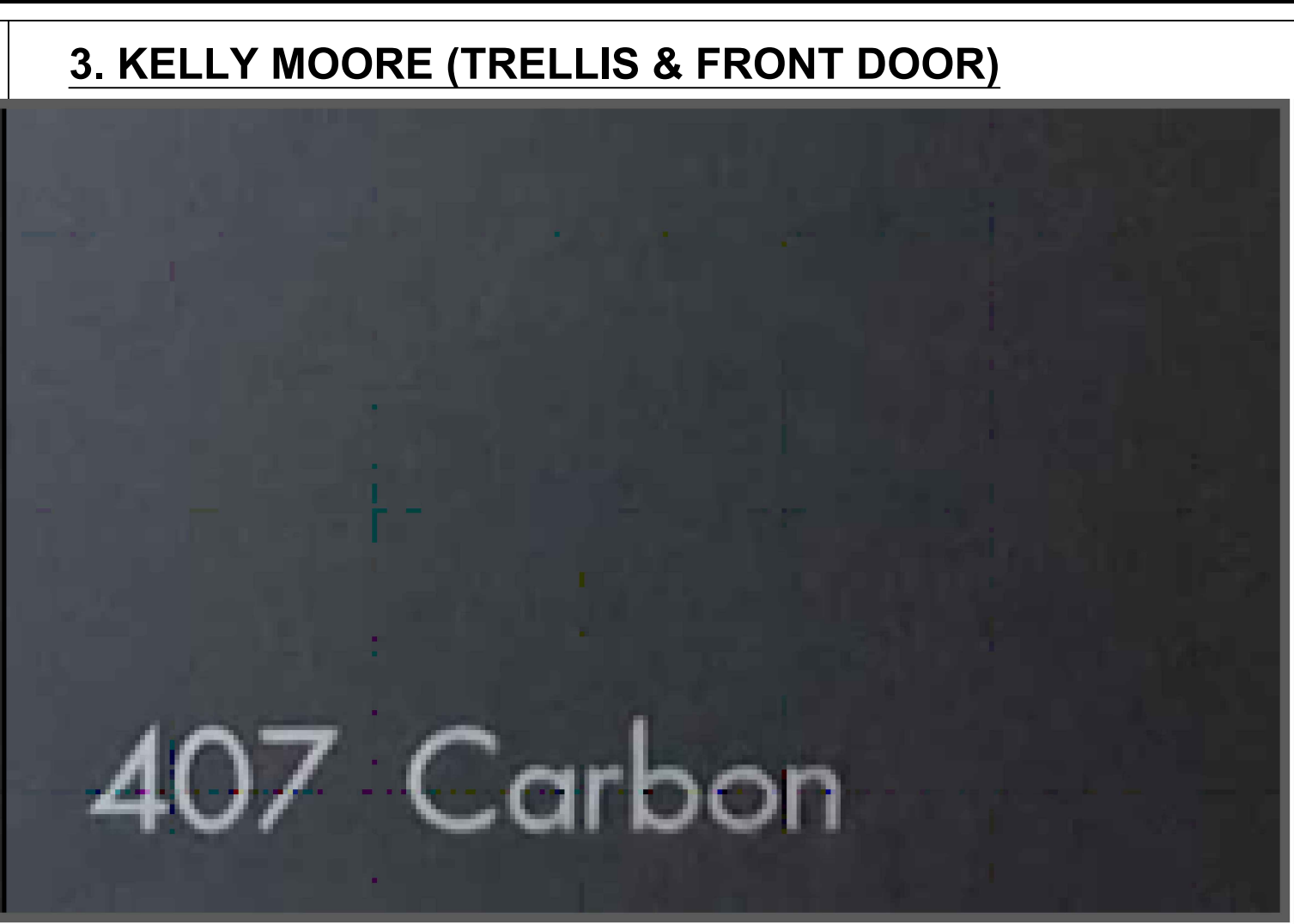
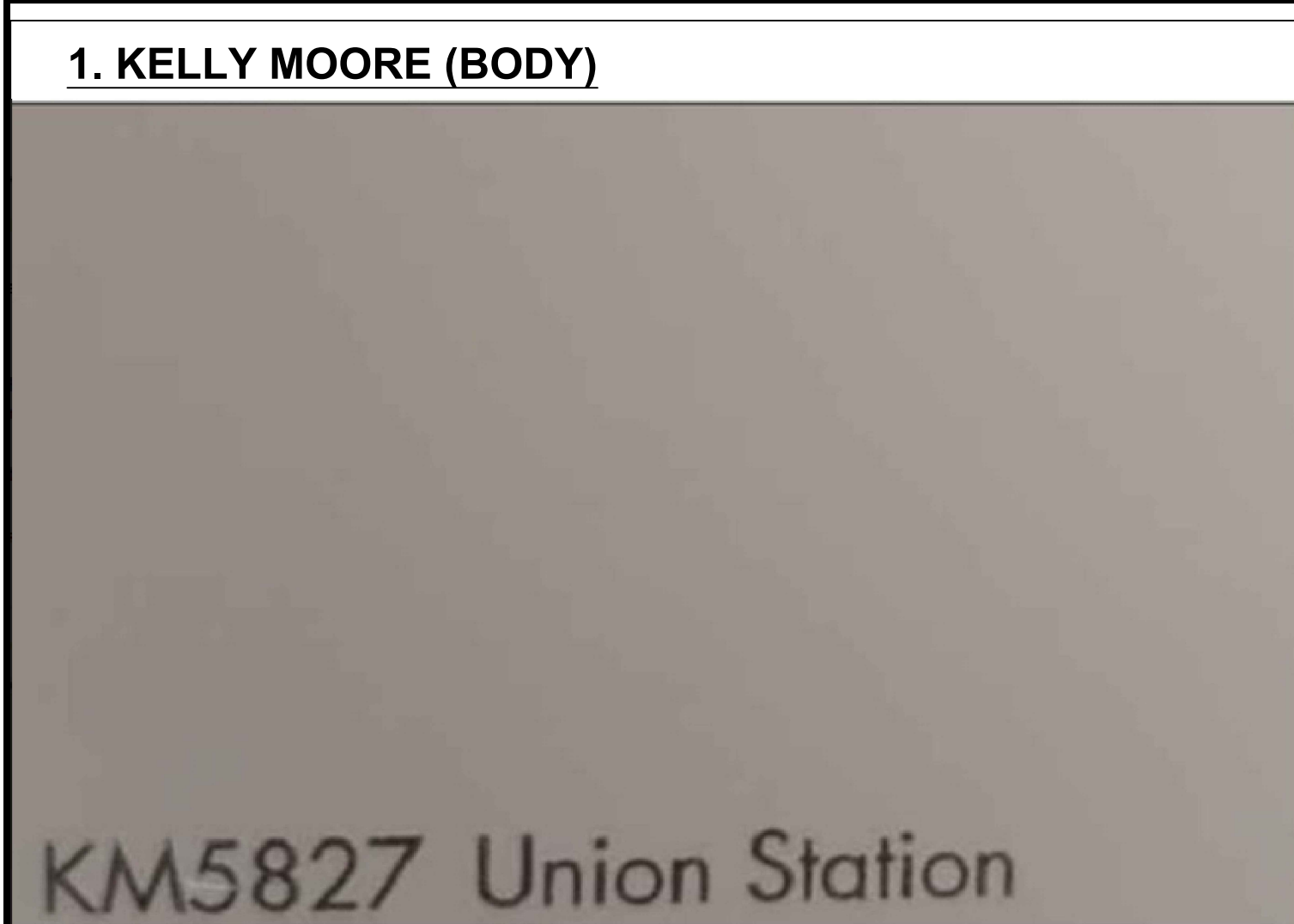
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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | SCHEDULES |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | _ |

1-A5

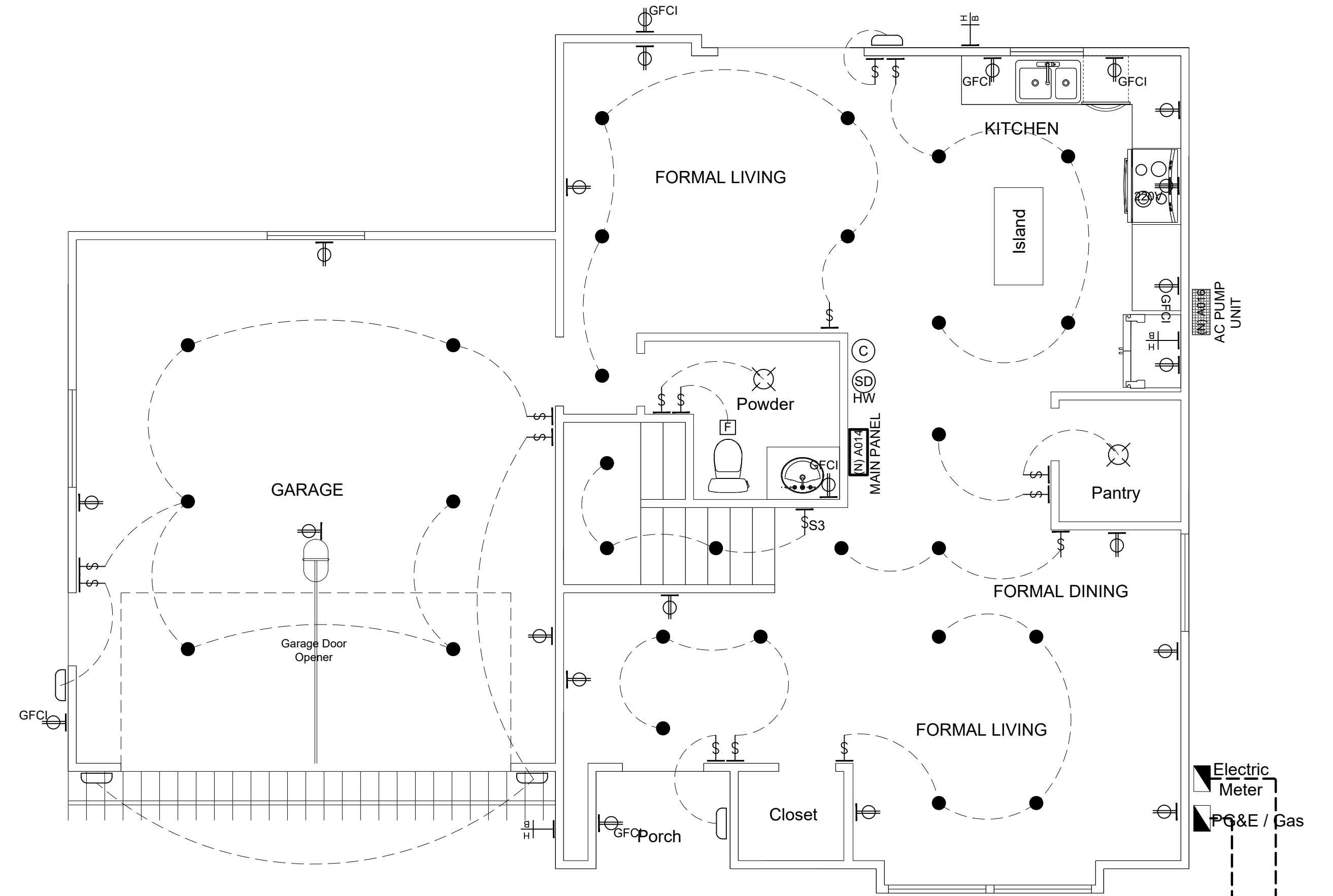


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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | FINISHES |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | _ |

- Manual-on/automatic-off occupant sensors, motion sensors, photo control astronomical time clock controls, and dimmers installed to comply with Sec 150.0(k) and shall be certified to the Energy Commission by their manufacturer, pursuant to the provisions of the Title 20 Appliance Efficiency Regulations, as required by Sec 110.9.
 - All permanently installed luminaires shall have readily accessible controls that permit the luminaires to be manually switched on and off.
 - All lighting controls and equipment shall be installed in accordance with the manufacturer's instructions.
 - All lighting shall be switched separately from exhaust fans.
 - No controls shall bypass the dimmer or vacancy sensor function. The dimmer or vacancy sensor shall be certified to the Energy Commission that it complies with the applicable requirements of Sec. 110.9.
 - All added/replaced receptacles shall be listed tamper-resistant receptacles and shall be arc fault protected.
 - All installed luminaires shall be high efficiency.
 - Under cabinet lighting shall be switched separately from the other lighting system.
 - Luminaires recessed into insulated ceilings: (a) shall be listed for zero clearance insulation cover (IC rated); (b) shall include a label certifying air tight (AT) with air leakage less than 2.0 CFM at 75 pascals; (c) shall be sealed with a gasket or caulk between the luminaire housing and ceiling; (d) if recessed lights are equipped with ballasts, shall allow ballast maintenance and replacement without requiring cutting of holes in the ceiling; and (e) shall not contain screw base sockets.
 - Dwellings are to be equipped with smoke alarms installed in the following locations:
 - In each existing sleeping room.
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - On each story including basements and habitable attics, not including crawl spaces and uninhabitable attics.
 - Installed not less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent replacement of a smoke alarm required by CRC.
 - Lighting controls may be either individual devices or systems consisting of two or more components. Lighting control systems and EMCS must meet the requirements of Sec. 110.9.
 - All lighting attached to the residence or to other buildings on the same lot must be high efficacy, and must be controlled by a manual ON and OFF switch and on the following automatic control types:
 - Photocontrol and motion sensor.
 - Photocontrol and automatic time switch control
 - Astronomical time clock control that automatically turns the outdoor lighting off during daylight hours.
 - EMCS that provides the functionality of an astronomical time clock, does not have an override of bypass switch that allows the luminaires to be always ON, and is programmed to be automatically turn the outdoor lighting off during daylight hours.
- Manual ON and OFF switches must not override the automatic control functions listed above, and any control that overrides the automatic controls to ON must automatically reactivate those controls within six hours.
- Balconies, decks, and porches that are accessible from inside the dwelling unit shall have at least one receptacle outlet installed within the perimeter of the balcony, deck, or porch. The receptacle shall not be located more than 6.5ft above the balcony, deck, or porch surface.

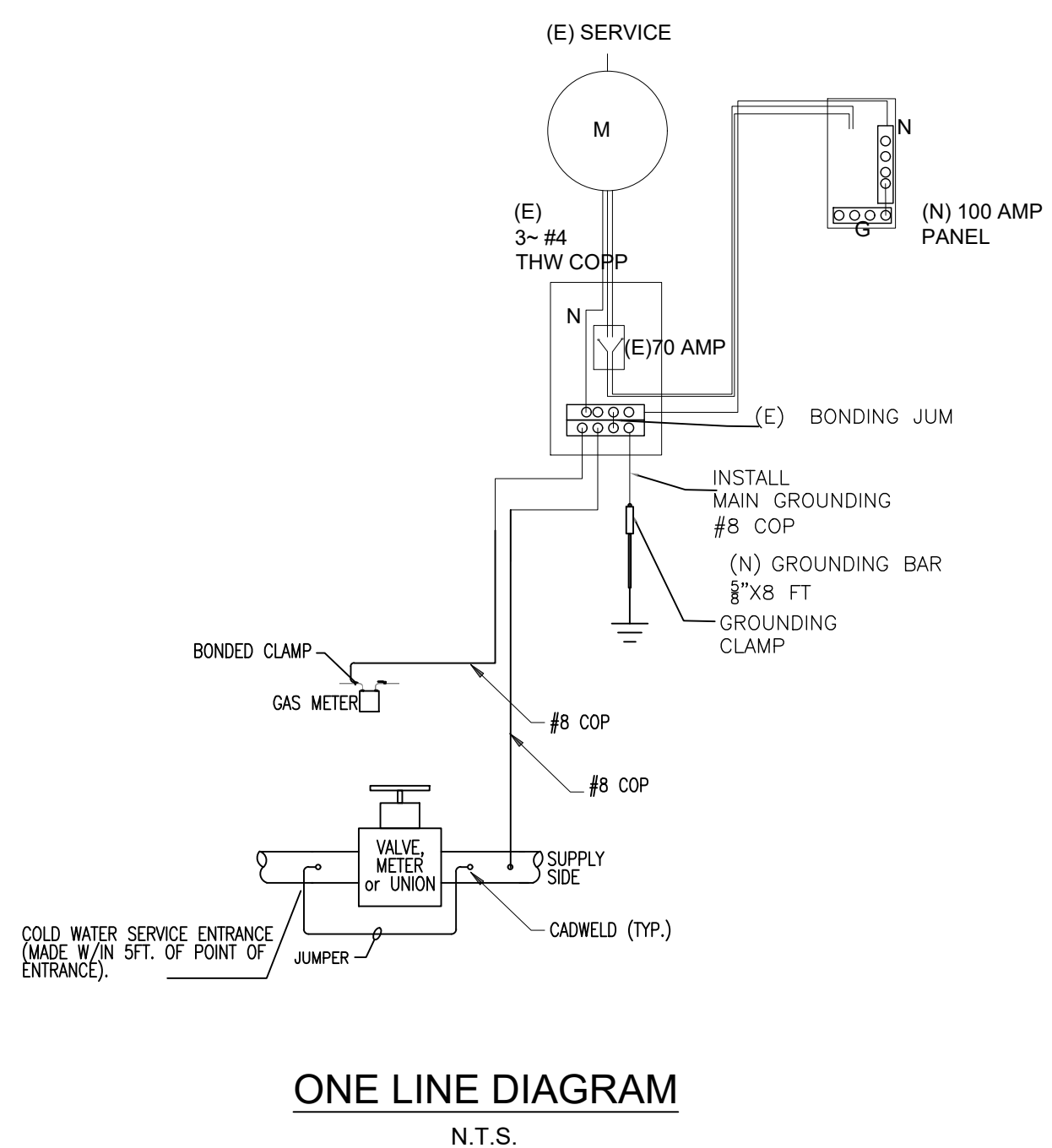
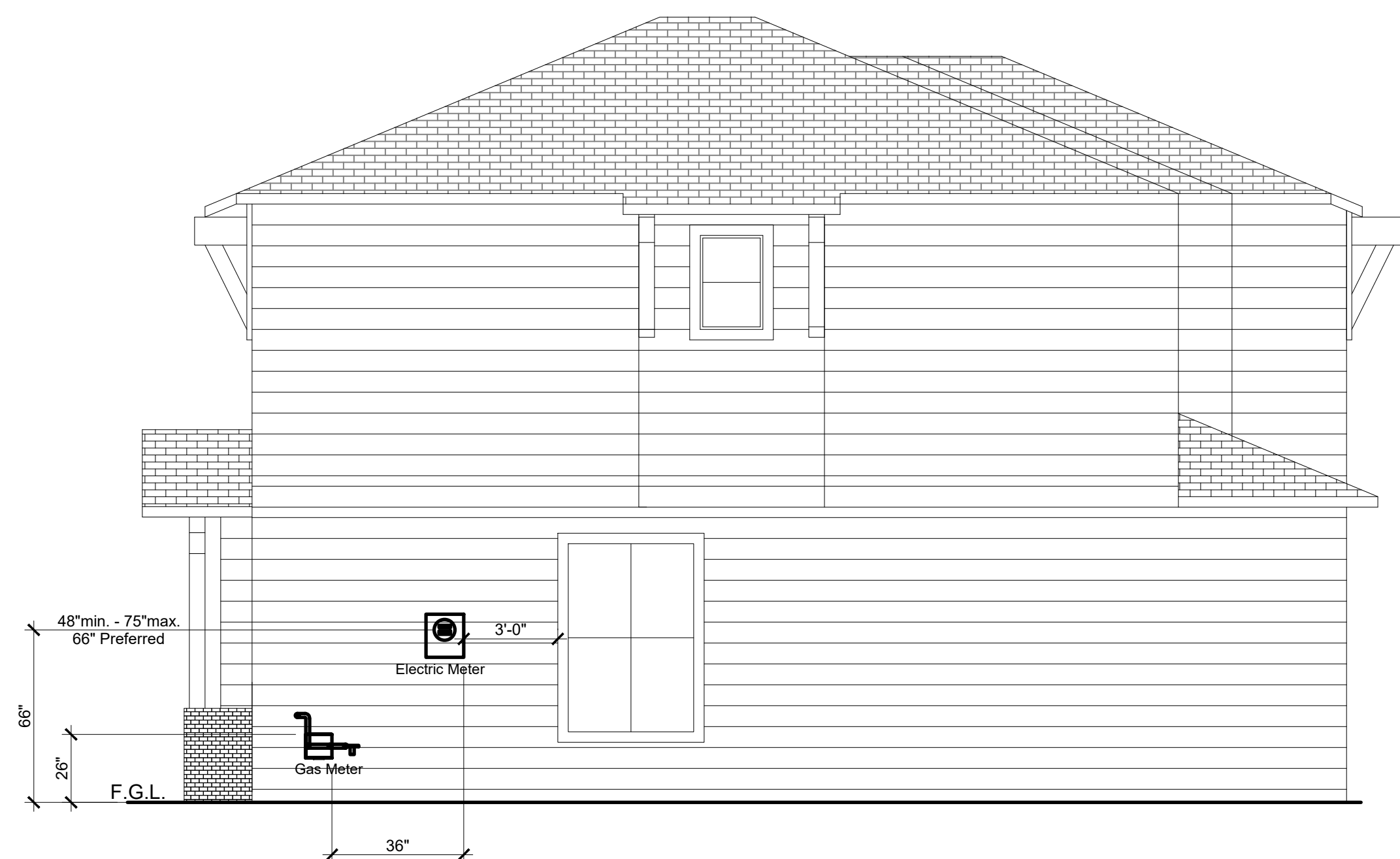


NORTH

1ST FLOOR ELECTRICAL PLAN (UNIT 1)

0 1' 2' 4' 8' 16'

SCALE: 1/4" = 1'-0"



3. ELECTRICAL LEGEND

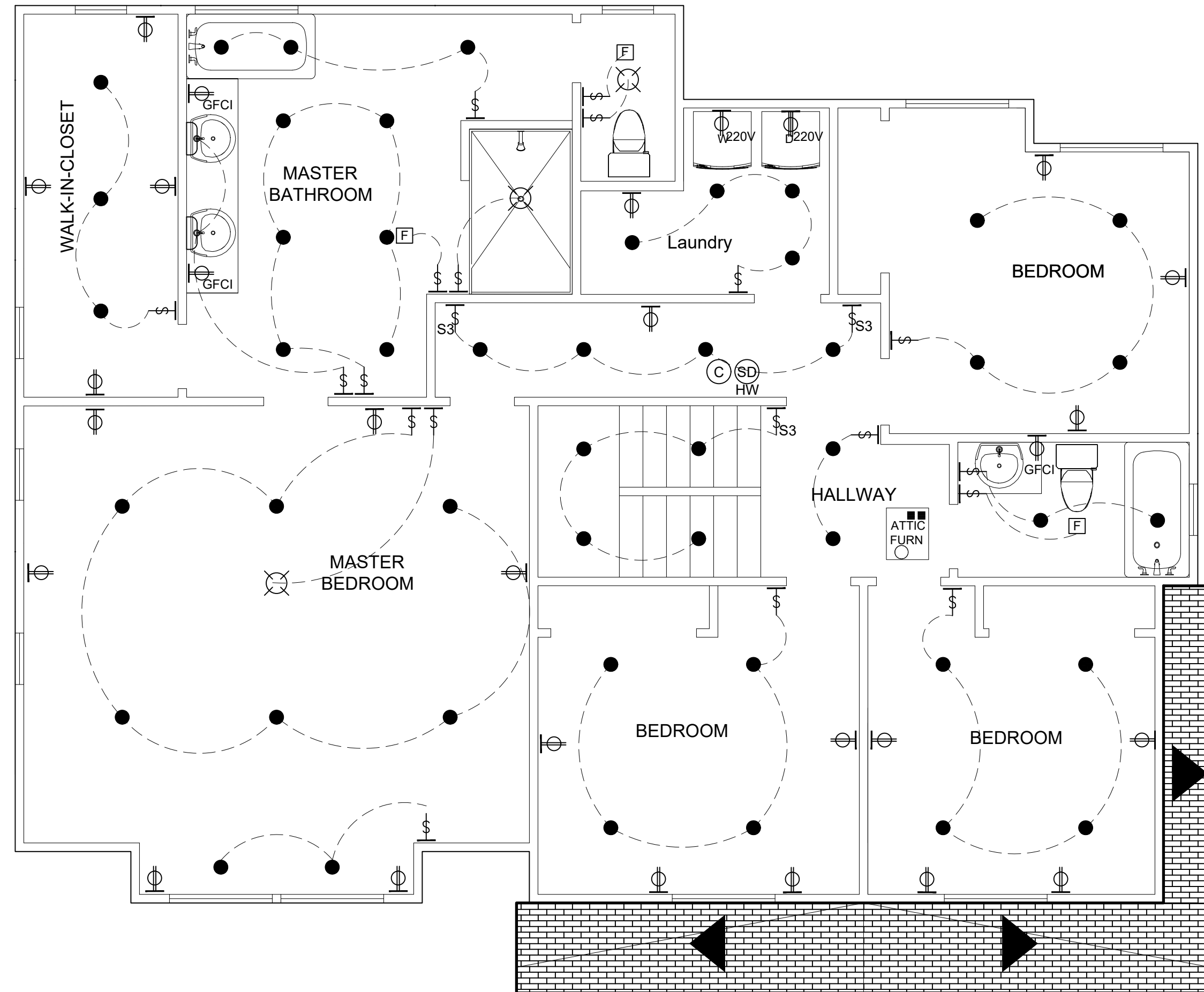
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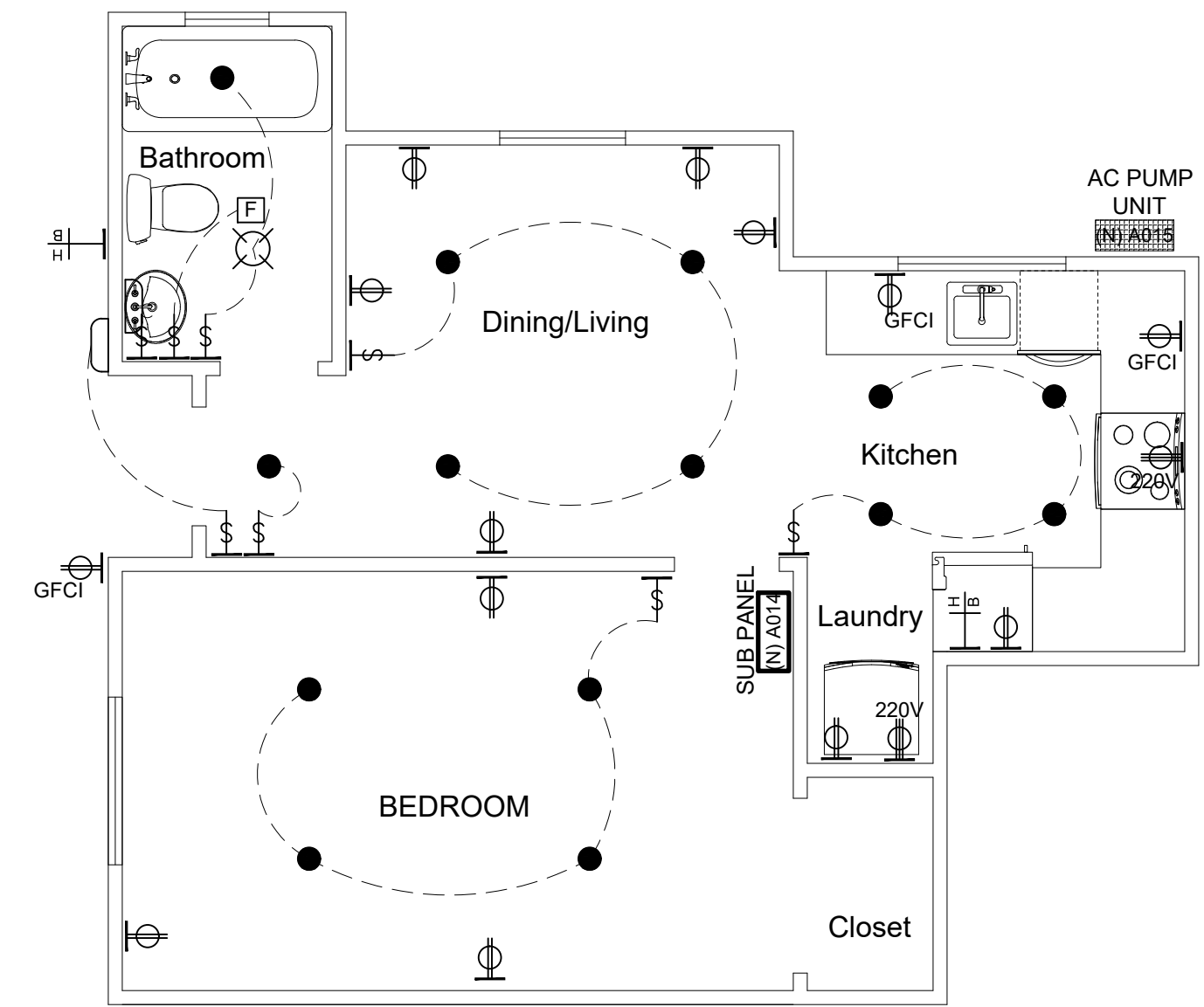
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|-----------|---------------------------------------|
| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | ELECTRICAL PLAN |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | _ |

PRINT SIZE: ARCH D 24"x36"



NORTH
2ND FLOOR ELECTRICAL PLAN (UNIT 1)
0 1' 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"



NORTH
ADU ELECTRICAL PLAN (UNIT 1)
0 1' 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"

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| N | REVISION | DATE |
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|-----------|--|
| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | ADU ELECTRICAL PLAN |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | _ |

2. PLUMBING NOTES

- 1) All work and materials shall meet the requirements of the 2016 California Plumbing and Mechanical Code.
- 2) Gas piping shall be leak tested per code.
- 3) Maximum flow rate for water closets is 1.28 gallons per flush.
- 4) Maximum flow rate for showerheads is 1.8 gallons per minute. For multiple showerheads serving one shower, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 pounds per square inch, or the shower shall be designed to allow only one shower outlet to be in operation at a time. A handled shower is considered a showerhead.
- 5) Flow rate for lavatory faucets is 1.2 gallons per minute maximum and 0.8 gallons per minute minimum.
- 6) Stub out all services per equipment manufacturer's recommendations.
- 7) Prior to final inspection all non-compliant plumbing fixtures shall be upgraded with water conserving fixtures as required.
- 8) Fans shall be Energy Star compliant and ducted to terminate outside the building.
- 9) Bathroom exhaust fan(s) must be controlled by a humidistat which shall be readily accessible.
- 10) A humidity control may be a separate component to the exhaust fan and is not required to be integral.
- 11) Exhaust fans shall be switched separately from the lighting system.
- 12) Toilet rooms, which are not equipped with a window that provides a ventilation opening of at least 1.5 sq.ft., shall be provided with mechanical ventilation with an exhaust capacity of at least 50 cubic feet per minute.
- 13) Termination of all environmental air ducts (e.g., bath fan dryer vent, etc.) shall be at least 3 feet from a property line and from openings into the building, and 10 feet from the forced air inlet.
- 14) Dryer moisture exhaust duct shall terminate to the outside and shall be equipped with a back-draft damper. Exhaust duct length is limited to a combined horizontal and vertical length of 14 feet with 2 elbows. Two feet shall be deducted for each 90 degree elbow in excess of two.
- 15) Shower and tub-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection for the rated flow rate of the installed showerhead.

1. PLUMBING PLAN

REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURE

NONE COMPLIANT PLUMBING FIXTURE

| |
|---|
| 1- ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GPF |
| 2- ANY SHOWERHEAD MANUFACTURED TO HAVE A FLOW CAPACITY OF MORE THAN 2.5 GPM |
| 3- ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GPM |

NEW PLUMBING FIXTURE MAXIMUM FLOW RATE

| |
|--|
| 1- WATER CLOSET: < OR EQUAL TO 1.28 G/F |
| 2- SINGLE SHOWERHEAD < OR EQUAL TO 2.0 GPM @ 80 PSI |
| 3- COMMERCIAL LAVATORY FAUCETS < OR EQUAL TO 0.5 GPM |
| 4- KITCHEN FAUCET/W < OR EQUAL TO 1.8 GPM @ 60 PSI |

PIPE AND FITTING MATERIAL

| TYPE | DESCRIPTION |
|--|---|
| PORTABLE WATER (CW AND HW) IN BUILDING | SCHEDULE 40 GALV. STEEL PIPE OR TYPE L HARD COPPER TUBING |
| PORTABLE WATER UNDERGROUND WITHIN 6' OF BUILDING | SCHEDULE 40 GALV. STEEL PIPE OR TYPE L HARD COPPER TUBING |
| PORTABLE WATER UNDERGROUND 6' BEYOND BUILDING | SCHEDULE 40 GALV. STEEL PIPE OR PVC STANDARD SCHEDULE 40 |
| SANITARY DRAIN PIPING ABOVE GROUND IN BUILDING | HUB AND PLAIN END CAST IRON W/ GASKET |
| SANITARY DRAIN AND VENT PIPING UNDERGROUND WITHIN 6' OF BUILDING | HUB AND PLAIN END CAST IRON W/ GASKET |
| SANITARY VENT PIPING ABOVE GROUND IN BUILDING | HUB AND PLAIN END CAST IRON W/ GASKET |
| SANITARY DRAIN PIPE 6' BEYOND THE BUILDING | PVC GRAVITY SEWER PIPE |
| NATURAL GAS ABOVE GROUND | SCHEDULE 40 BLACK STEEL PIPE |
| NATURAL GAS UNDER GROUND | SCHEDULE 40 BLACK STEEL PIPE |
| EQUIPMENT DRAIN AND RELIEF VALVA DISCHARGE | SCHEDULE 40 GALV. STEEL PIPE OR |
| RIGID DUCTWORK | GALVANIZED STEEL SHEET METAL |
| FLEXABLE DUCTWORK | UL 181, CLASS 1 AIR DUCT |

3. PLUMBING LEGEND

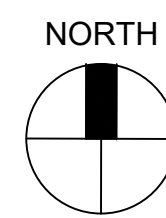
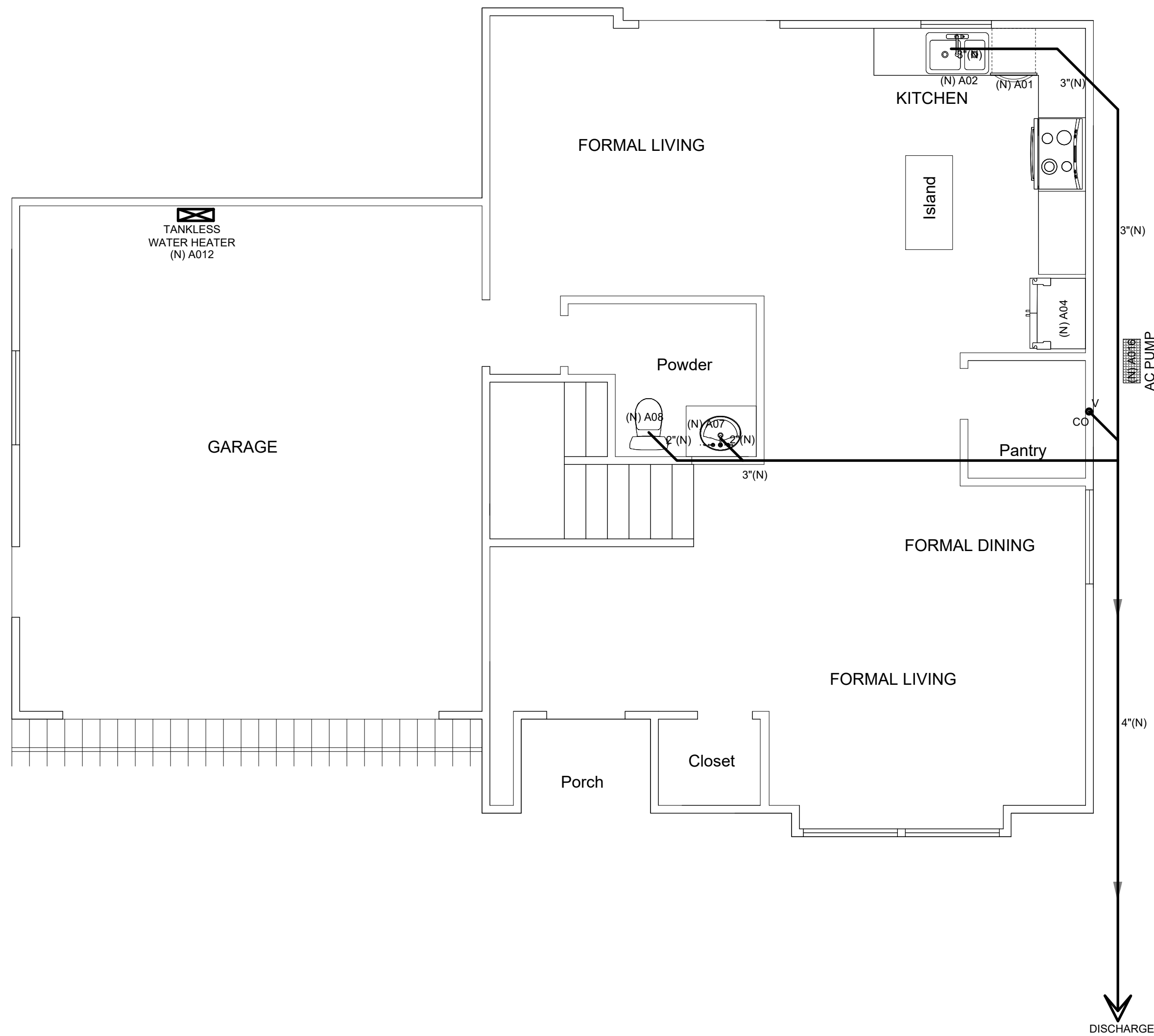
NOT ALL ITEMS LISTED BELOW ARE USED ON THIS SET OF PLUMBING DRAWINGS

| PLUMBING PIPING | | PIPING SYMBOLS | |
|-------------------------|---|----------------|---------------------------------|
| SYMBOL | ABBV. DESCRIPTION | SYMBOL | DESCRIPTION |
| --- CW --- | DOMESTIC COLD WATER | --- --- | WALL HYDRANT |
| --- HW --- | DOMESTIC HOT WATER (110 deg) | --- --- | HOSE BIBB |
| --- HWC --- | DOMESTIC HOT WATER CIRCULATION | --- --- | BALL VALVE |
| --- T --- | TEMPERED WATER | --- --- | CALIBRATED BALANCING VALVE |
| --- TR --- | TEMPERED WATER CIRCULATION | --- --- | GATE VALVE |
| --- W --- | SOIL OR WASTE | --- --- | CHECK VALVE |
| --- GW --- | GREASE WASTE | --- --- | SOLENOID VALVE |
| --- SOD --- | SEDIMENT & OIL DRAIN | --- --- | PRESSURE REDUCING VALVE |
| --- FM --- | FORCE MAIN DRAINAGE | --- --- | PLUG VALVE |
| --- D --- | DRAIN | --- --- | PUMP |
| --- V --- | SANITARY VENT | --- --- | ATMOSPHERIC VACUUM BREAKER |
| --- GV --- | GREASE VENT | --- --- | STRAINER |
| --- SD --- | STORM DRAIN | --- --- | RELIEF VALVE |
| --- OD --- | OVERFLOW STORM DRAIN | --- --- | DOWNSPOUT NOZZLE |
| --- F --- | FIRE SPRINKLER | --- --- | WATER HAMMER ARRESTER |
| --- FDC --- | FIRE DEPT. CONNECTION | --- --- | UNION |
| --- G --- | NATURAL GAS LOW PRESSURE | --- --- | REDUCER |
| --- MPG --- | NATURAL GAS MEDIUM PRESSURE | --- --- | WATER METER |
| --- LPG --- | PROPANE GAS | --- --- | GAS METER |
| --- CA --- | COMPRESSED AIR | --- --- | PRESSURE GAUGE |
| --- CO --- | CLEAN OUT | --- --- | THERMOMETER |
| PLUMBING PIPING SYMBOLS | | PIPING SYMBOLS | |
| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
| --->--- | ARROW IN LINE INDICATES DIRECTION OF FLOW | --- --- | FLOOR SINK |
| ---XX--- | INDICATES PIPE SLOPE DOWN | --- --- | AREA/FLOOR DRAIN |
| --- --- | REMOVE EXISTING | --- --- | ROOF DRAIN OR OVERFLOW DRAIN |
| --- --- | BOTTOM PIPE CONNECTION | --- --- | WALL CLEANOUT AND LINE CLEANOUT |
| --- --- | PIPING UP | --- --- | FLOOR CLEANOUT |
| --- --- | PIPING DOWN | --- --- | CONNECT NEW TO EXISTING |
| --- --- | FIXTURE TRAP OR DRAIN TRAP | --- --- | DTL SH# |
| --- --- | PIPING CAP OR PLUG | --- --- | DTL SHT |
| --- --- | BALL VALVE IN VERTICAL PIPE DROP | --- --- | EQUIP# |
| --- --- | GATE VALVE IN VERTICAL PIPE DROP | --- --- | |

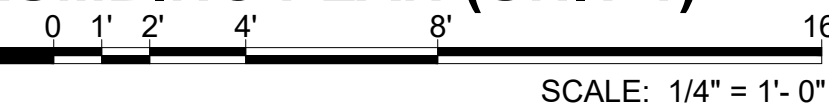
| FIXTURE SCHEDULE | | | | |
|------------------|-----------------------|-----|--------------------------------|--------|
| LABEL | DESCRIPTION | QTY | INFO | STATUS |
| (N) A01 | DISHWASHER | 2 | PLUMBING: H,C,W | NEW |
| (N) A02 | DOUBLE SINK | 1 | PLUMBING: H,C,W | NEW |
| (N) A03 | DRYER | 2 | ELECTRIC | NEW |
| (N) A04 | FRIDGE | 2 | PLUMBING: C | NEW |
| (N) A05 | ELECTRIC STOVE | 1 | PLUMBING: G 40,000 BTU | NEW |
| (N) A06 | SHOWER | 1 | PLUMBING: H,C,W,T | NEW |
| (N) A07 | SINK | 6 | PLUMBING: H,C,W | NEW |
| (N) A08 | TOILET | 4 | PLUMBING: C,W | NEW |
| (N) A09 | WASHER | 2 | PLUMBING: H,C,W | NEW |
| (N) A10 | GAS METER | 1 | PLUMBING: G | NEW |
| (N) A011 | BATH SHOWER COMBO | 3 | PLUMBING: H,C,W,T | NEW |
| (N) A012 | TANKLESS WATER HEATER | 1 | PLUMBING: C ELECTRIC | NEW |
| (N) A013 | ELECTRICAL METER | 1 | | NEW |
| (N) A014 | MAIN PANEL | 2 | 200 AMP | NEW |
| (N) A015 | DUCTLESS MINI SPLIT | 1 | ELECTRIC, SEER AND EER PER T24 | NEW |
| (N) A016 | AC PUMP UNIT | 1 | ELECTRIC, PER T24 | NEW |
| (N) A017 | ELECTRIC STOVE | 1 | PLUMBING: G 40,000 BTU | NEW |

REQUIRED GAS PIPING SIZE

| NOMINAL: | GAS NATURAL | | | | | | | | | |
|---------------|--|-------|-------|-------|-------|-------|-------|--------|--------|--------|
| | 1/2 | 3/4 | 1 | 1 1/4 | 1 1/2 | 2 | 2 1/2 | 3 | 4 | 5 |
| ACTUAL ID: | 0.622 | 0.824 | 1.049 | 1.380 | 1.610 | 2.067 | 2.469 | 3.068 | 4.026 | 5.047 |
| LENGTH (feet) | CAPACITY IN CUBIC FEET OF GAS PER HOUR | | | | | | | | | |
| 10 | 172 | 360 | 678 | 1390 | 2090 | 4020 | 6400 | 11 300 | 23 100 | 41 800 |
| 20 | 118 | 247 | 466 | 957 | 1430 | 2760 | 4400 | 7780 | 15 900 | 28 700 |
| 30 | 95 | 199 | 374 | 768 | 1150 | 2220 | 3530 | 6250 | 12 700 | 23 000 |
| 40 | 81 | 170 | 320 | 657 | 985 | 1900 | 3020 | 5350 | 10 900 | 19 700 |
| 50 | 72 | 151 | 284 | 583 | 873 | 1680 | 2680 | 4740 | 9660 | 17 500 |
| 60 | 65 | 137 | 257 | 528 | 791 | 1520 | 2430 | 4290 | 8760 | 15 800 |
| 70 | 60 | 126 | 237 | 486 | 728 | 1400 | 2230 | 3950 | 8050 | 14 600 |
| 80 | 56 | 117 | 220 | 452 | 677 | 1300 | 2080 | 3670 | 7490 | 13 600 |
| 90 | 52 | 110 | 207 | 424 | 635 | 1220 | 1950 | 3450 | 7030 | 12 700 |
| 100 | 50 | 104 | 195 | 400 | 600 | 1160 | 1840 | 3260 | 6640 | 12 000 |



1ST FLOOR PLUMBING PLAN (UNIT 1)



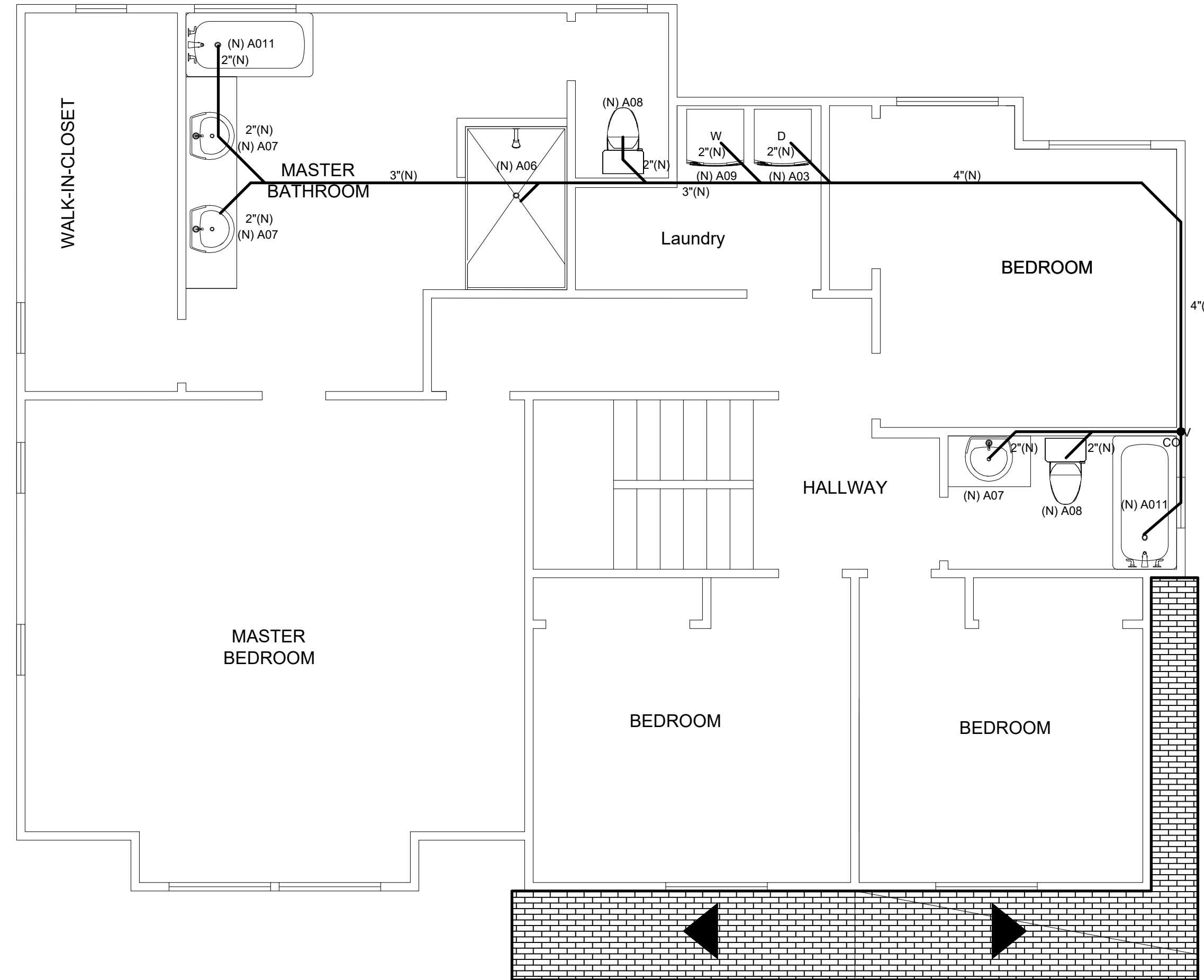
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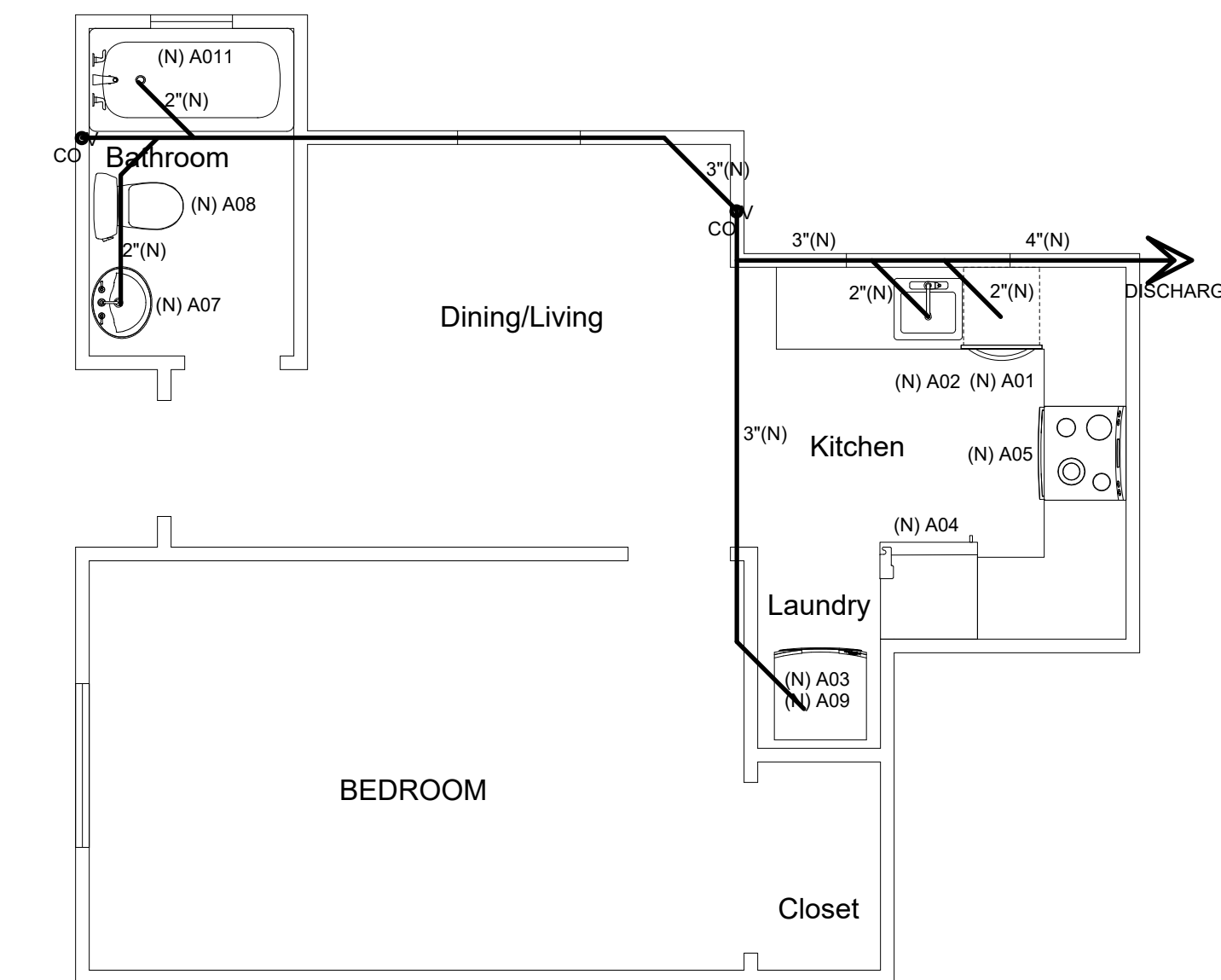
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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | PLUMBING PLAN |
| SCALE | 1/4"=1'-0" |
| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | _ |

1-P1

1. PLUMBING PLAN



NORTH
2ND FLOOR PLUMBING PLAN (UNIT 1)
SCALE: 1/4" = 1'-0"



NORTH
ADU PLUMBING PLAN (UNIT 1)
SCALE: 1/4" = 1'-0"

| FIXTURE SCHEDULE | | | | |
|------------------|--------------------------|-----|-----------------------------------|--------|
| LABEL | DESCRIPTION | QTY | INFO | STATUS |
| (N) A01 | DISHWASHER | 2 | PLUMBING: H,C,W | NEW |
| (N) A02 | DOUBLE SINK | 1 | PLUMBING: H,C,W | NEW |
| (N) A03 | DRYER | 2 | ELECTRIC | NEW |
| (N) A04 | FRIDGE | 2 | PLUMBING: C | NEW |
| (N) A05 | ELECTRIC STOVE | 1 | PLUMBING: G 40,000 BTU | NEW |
| (N) A06 | SHOWER | 1 | PLUMBING: H,C,W,T | NEW |
| (N) A07 | SINK | 6 | PLUMBING: H,C,W | NEW |
| (N) A08 | TOILET | 4 | PLUMBING: C,W | NEW |
| (N) A09 | WASHER | 2 | PLUMBING: H,C,W | NEW |
| (N) A010 | GAS METER | 1 | PLUMBING: G | NEW |
| (N) A011 | BATH SHOWER COMBO | 3 | PLUMBING: H,C,W,T | NEW |
| (N) A012 | TANKLESS WATER HEATER | 1 | PLUMBING: C ELECTRIC | NEW |
| (N) A013 | ELECTRICAL METER | 1 | | NEW |
| (N) A014 | MAIN PANEL | 2 | 200 AMP | NEW |
| (N) A015 | DUCTLESS MINI SPLIT | 1 | ELECTRIC, SEER AND EER PER T24 | NEW |
| (N) A016 | AC PUMP UNIT | 1 | ELECTRIC, PER T24 | NEW |
| (N) A017 | ELECTRIC STOVE | 1 | PLUMBING: G 40,000 BTU | NEW |



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| PROJECT | KAYLA'S PLACE RESIDENCE |
| OWNER | STEVE MATTHIAS |
| ADDRESS | 171 KAYLA PLACE BRENTWOOD, CALIFORNIA |
| CONTENT | PLUMBING PLAN |
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| DRAWN BY | MD |
| DATE | 3/15/22 |
| PROJECT # | _ |

1-P2